

BIDDING OPENS: Tues, Aug 17, 2021

BIDDING CLOSES: Thurs, Aug 19, 2021



17A 232051 Township Road 920

Home, Shop, Garage - 4.32 ± acres

**4.32 acres with an attractive 2006 Moduline 3 bed 3 bath modular home,
detached heated, insulated garage, and an impressive commercial shop.
Located just minutes from Manning.**

Sale Managed by:

TEAM
AUCTIONS
Sekura Auctions Since 1966

Head Office - Drayton Valley, AB
780-542-4337
780-834-6888 - Fairview Office

Real Estate Services by:

5016 50 Ave (Box 756)
Breton, AB
780-696-2249



Highlights of Real Estate Auction Terms

- 1. UNRESERVED:** The seller has agreed to accept the highest bid regardless of price. Property will sell to the highest bidder without minimum or reserve.
- 2. AGENT OF THE SELLER:** Real Estate Brokerage (Moore's Agri-Trade Ltd) acts only as agent of the seller and not as agent of the Buyer. They will provide prospective buyers with all facts known to the agent that will or may affect the marketability or value of the property.
- 3. NO WARRANTY:** The Buyer shall accept the Property as-is where-is and specifically agrees that neither the Seller, Auctioneer or Realtor makes any representations or warranties of any kind as to the condition or fitness of the Property, environmental or otherwise, or any improvements thereon.
- 4.** It is the **RESPONSIBILITY OF ALL BIDDERS** to review all information provided, including "Property Information Package" from the Real Estate Brokerage and the terms of this auction. All information provided is meant as a guide only. Bidders shall have satisfied themselves as to the descriptions, location and condition of the property prior to bidding. If clarification is required, it is the bidder's responsibility to obtain clarification from Real Estate Brokerage **prior to bidding**.
- 5. GST:** Bid price does not include any applicable GST unless announced otherwise by auctioneer.
- 6. DEPOSIT:** Immediately at the close of bidding the successful bidder will make a **NON REFUNDABLE** deposit payable to the real estate brokerage (as listed in the Property Information Package) in the form of a bank draft or other approved payment. Amount is listed in Property Info Package/or as announced by auctioneer.
- 7. PURCHASE CONTRACT:** The Real Estate Purchase Contract that applies to each property will be available for inspection prior to the auction. Title(s) will be clear of encumbrances except those which are to remain on the title. All bidders agree that, should their bid be accepted, they will complete and be bound by the terms of the purchase contract. Buyer will pay the balance of the purchase price to their lawyer on or before Completion Day. Possession will be in accordance with the terms of the Purchase Contracts. **Note: These contracts will not be subject to any buyer's conditions.**

****TEAM SEKURA AUCTION MAIN SALE TERMS ALSO APPLY.**

NOTE TO BIDDERS



- When registering to bid you will be required to have a Letter of Confirmation of Funds from your bank. Letter of Confirmation must be on Bank Letterhead with your name & or company name & amount of funds you have access to that you wish to spend up to. This letter of confirmation will have to be emailed to TEAM Auctions.
- There is NO online bidding fee on this auction

HIGHLIGHTS OF PURCHASE CONTRACT

Completion Day	3 September, 2021
Deposit	\$ 20,000 (non-refundable) bank draft or approved payment payable to Moore's Agri-Trade Ltd due from successful bidder upon close of bidding / signing of purchase contract. Cash and virtual currency will not be accepted.
Conditions	There are no Buyer Conditions.
Goods Included	Refrigerator, gas stove, hood fan, dishwasher, washer, dryer, TV wall mounts(2), TVs(2), satellite TV dish, central air conditioner, 2 ceiling fans, central vacuum & attachments, window coverings, garage control & opener, radiant heaters (garage - 1 & shop 2), sheds, play sets
Additional Terms	<ul style="list-style-type: none">• The property sells as is with no warranties of any kind whatsoever as to the conditions or fitness of the Property, environmental or otherwise.• Real Property Report will not be provided.• GST: Bid price does not include any applicable GST (see page 8)• Sewer surface discharge does not meet current wastewater code.

Copy of Purchase Contract is available - call 780-898-0729

Contract must be signed by successful bidder upon bidding closing

teamauctions.com

17A 232051 Township Road 920



4.32 acres with an attractive 2006 Moduline 3 bed 3 bath modular home, detached heated, insulated garage, and an impressive commercial shop. Located just minutes from Manning.

THE HOME:

3 bedroom 3 bath modular bungalow built 2006 (was new when set on this property in 2009).

- Kitchen - updated 2 years ago with custom built kitchen cabinets complete with under mount sink, tiled backsplash, island with eating counter, spot under counter for microwave, appliance cupboard with shelf that comes up to height of counter and becomes part of the working counter. Fridge new in 2021, Gas stove 5 years old, dishwasher 2 years old. Kitchen also has pantry and patio doors to deck. There is room for dining table in this room.
- Dining Room with gas fireplace and 2 built-in cabinets
- Living room - Bright spacious living room with loads of natural light
- Master bedroom with 4 piece en-suite with jetted tub, separate shower. 2 years ago new toilet and updated custom built vanity and under mount sink.
- 2 additional bedrooms
- 4 piece bathroom - 2 years ago new toilet and updated custom built vanity and under mount sink.
- Large back entry with laundry area, 2 piece bath, utility closet complete with central vacuum.
- Vaulted ceilings throughout home.
- Vinyl windows
- Central air conditioning
- Vinyl plank flooring installed approx 2 years ago.
- Exterior of home: vinyl siding, asphalt shingles, Maintenance free deck with gas hookup for your BBQ. Maintenance free front step.
- Yard: Attractive landscaping. Fire pit and Shed for firewood. Garden shed with overhead door. Play house & play set. Garden spot and berry bushes..

THE GARAGE - 29'7x 30' -

- detached, lined and insulated, metal clad interior, concrete floor, radiant heater, floor drains. 2 overhead doors with auto openers. Vinyl siding. Asphalt shingles. Garage was built approx 6 years ago.

THE SHOP- 50' x 80'

- In-floor heat & 2 radiant tube heaters, 2 offices, 2 piece bathroom, mechanical room under storage mezzanine. Coffee area. 3 overhead doors with auto openers. 2 Man doors. Metal clad interior and exterior. Pole shed construction. Built 2009

Municipality	Northern Lights County
Legal Description	Plan 0227022 Blk 3 Lot 5
Land Size	4.32 acres
Land Use Zoning	Airport Protection
Property Taxes	\$6885.37(2021)
Deposit	\$20,000
Possession	3 September 2021

SERVICES:

- Power, Natural Gas, Phone Line, Sewer - 2 compartment tank with open discharge, Municipal Water

17A 232051 Township Road 920



From Front north west corner of property



From Front south west corner of property



From South East corner of property



From North East corner of property

17A 232051 Township Road 920



HOME INFO

Builder: Moduline Industries (Canada) Ltd

Built: 2006 - Purchased new in 2009

Model: 30845; Serial: 016-5831; CSA: 57900

Steel Pilings (pounded in)

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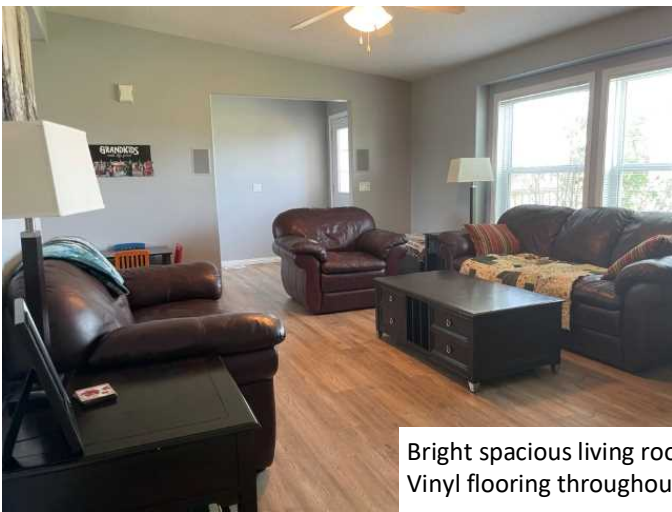
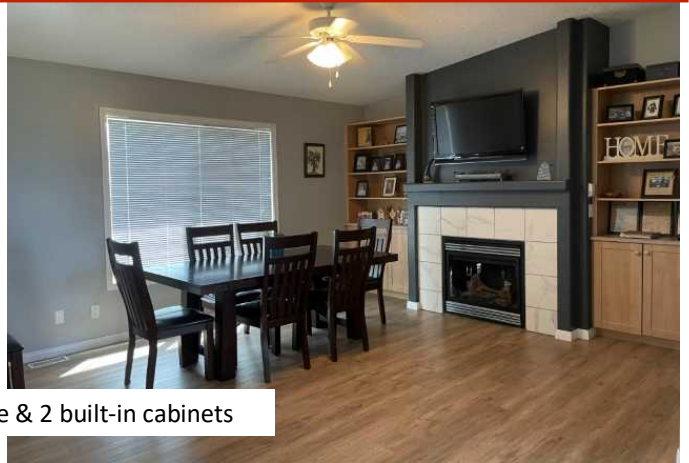
Kitchen - updated 2 years ago with custom built kitchen cabinets with soft close drawers & doors, complete with under mount sink, tiled backsplash, island with eating counter, spot under counter for microwave, appliance cupboard with shelf that comes up to height of counter and becomes part of the working counter. Fridge new in 2021, Gas stove 5 years old, dishwasher 2 years old. Kitchen also has pantry and patio doors to deck. There is room for dining table in this room.



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Dining Room with gas fireplace & 2 built-in cabinets



Bright spacious living room with loads of natural light
Vinyl flooring throughout home 2 years ago.



4 piece main bath - toilet &
custom built vanity with under
mount sink new 2 years ago.

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2 spacious bedrooms complete this home.
Vinyl plank flooring.
Vaulted ceiling through out home.



GST APPLIES TO SALE OF THIS PROPERTY.

The purchase price will be the HIGHEST BID PRICE plus GST.

With respect to GST payable if the buyer is:

- (a) not a GST registrant under the Excise Tax Act (Canada), then the buyer shall remit the applicable GST to the seller's lawyer on or before the Completion Day. The seller shall remit the GST to the Receiver General as required by law, and will indemnify and save the buyer harmless from and against all costs and expenses (including legal fees on a solicitor/client full indemnity basis) that the buyer may incur or become subject to as a result of the seller's failure to remit GST pursuant to this clause; or
- (b) a GST registrant under the Excise Tax Act (Canada), then the buyer will provide the seller with proof and details of the buyer's GST registration before the Completion Day. The buyer will assume the liability for all GST payable pursuant to the Excise Tax Act (Canada) accruing in respect of this transaction and will indemnify and save the seller harmless from and against all costs and expenses (including legal fees on a solicitor/client full indemnity basis) that the seller may incur or become subject to as a result of the buyer failing to comply with its obligations pursuant to this clause.

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Primary (Master) Bedroom



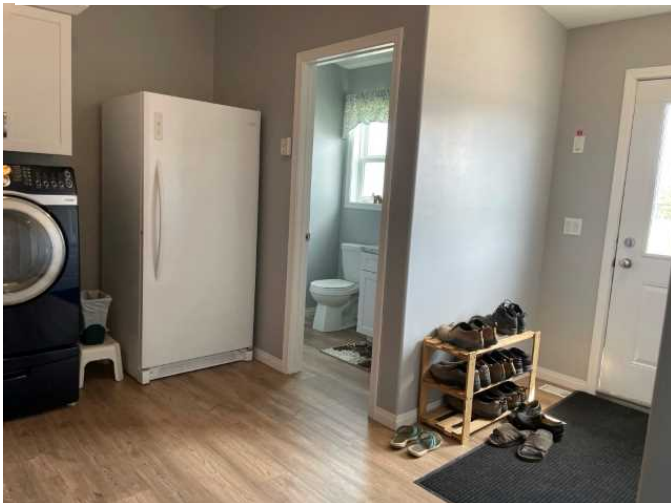
Master En-suite
with corner
jetted tub,
separate shower
unit.
Toilet, custom
built cabinetry
and under
mount sink new
2 years ago.



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Spacious Back Entry with laundry area, 2 piece bath (vanity, sink & toilet new 2 years ago), central vac & Hot water heater(new 4 years ago) in closet. Furnace in its own closet.



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Attractive Deck and front steps - built with Maintenance Free decking approx 6 years ago.



Natural Gas hookup for BBQ



Central Air Conditioning

Rock chip in window



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THE GARAGE -

29'7x 30'

detached,
lined & insulated,
metal clad
interior,
concrete floor,
radiant heater,
2 floor drains.
2 overhead doors
w/ auto openers.
Vinyl siding.
Asphalt shingles.



Garage was built
approx 6 years
ago.

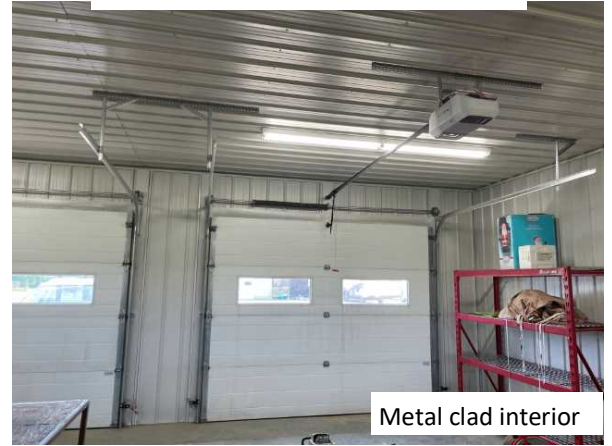
2 Floor drains -
drain into sewer



2 Overhead doors with auto openers



Radiant tube Heater



Metal clad interior



2 Floor
drains. They
drain into
sewer.



Garage door
top window
is rock chip
shattered.

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Attractive landscaping. Fire pit and Shed for firewood.



12x16 Garden shed on skids, overhead door, framed, plywood floor, vinyl siding, asphalt shingles.

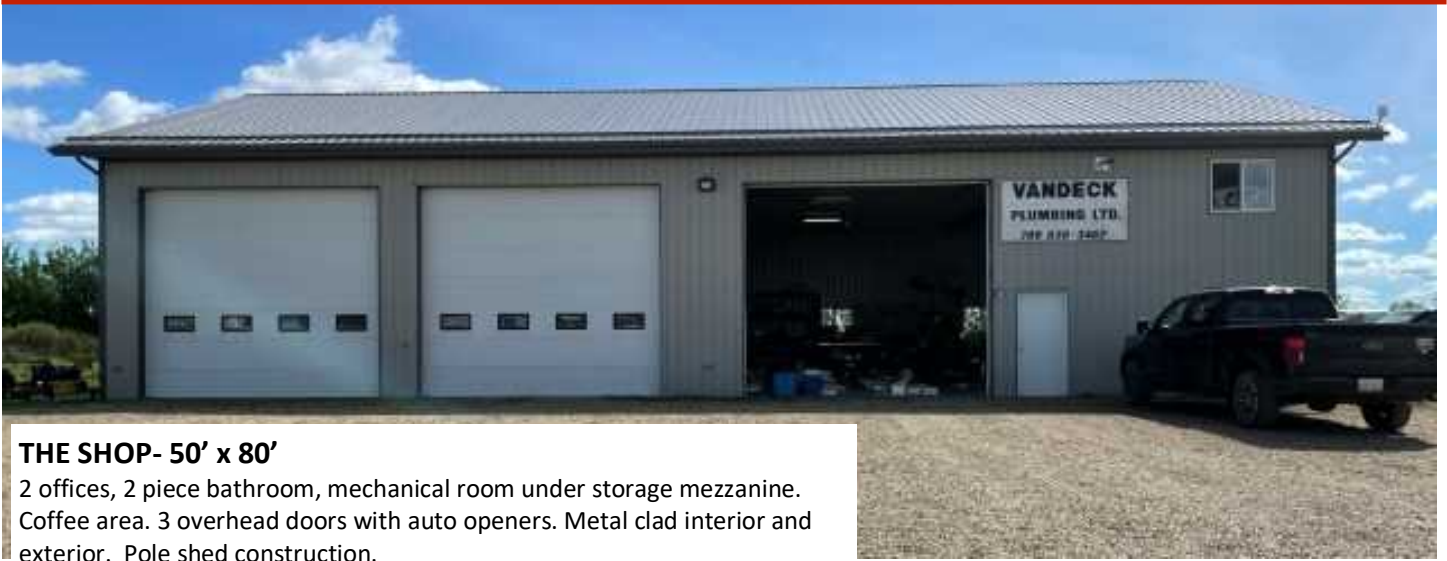


Garden spot and berry bushes..

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THE SHOP- 50' x 80'

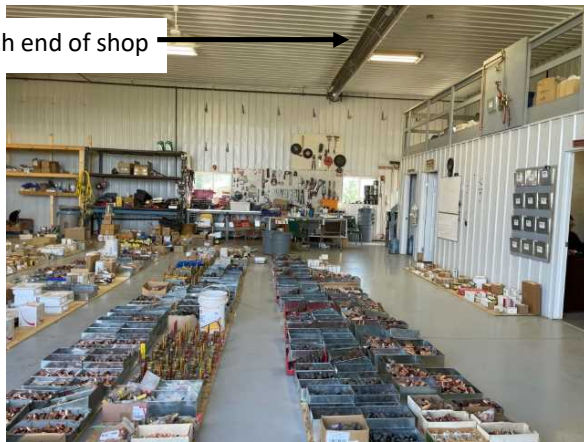
2 offices, 2 piece bathroom, mechanical room under storage mezzanine. Coffee area. 3 overhead doors with auto openers. Metal clad interior and exterior. Pole shed construction.



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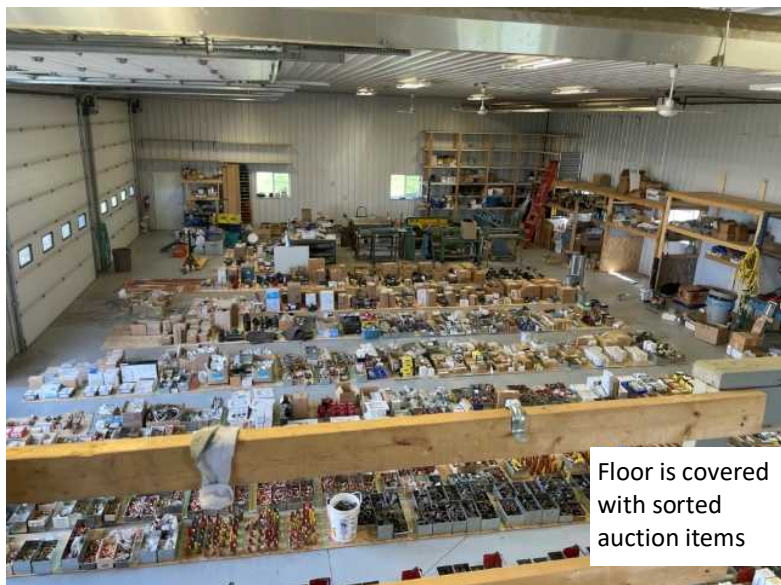
Radiant heater on each end of shop



Mezzanine



Mezzanine

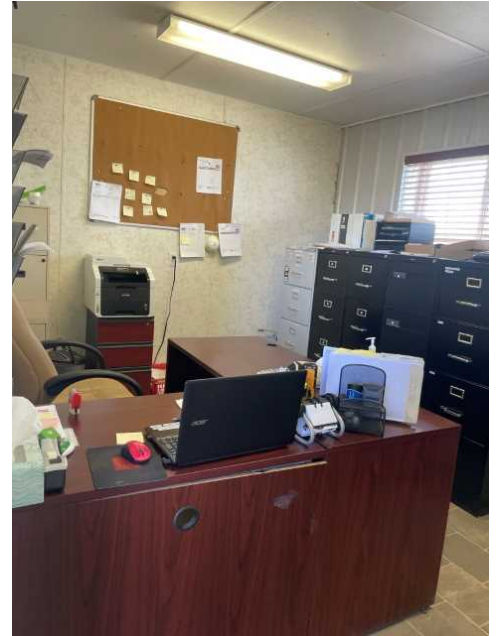


Floor is covered with sorted auction items

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Under the mezzanine - 2 offices, 2 piece bath and mechanical room.



Coffee/lunch area



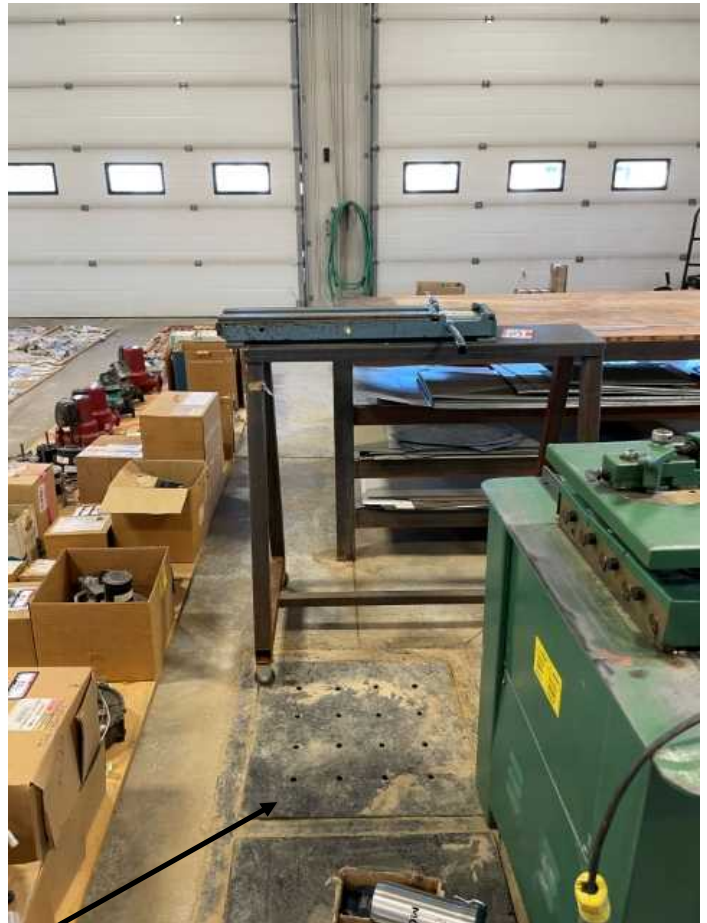
2 piece bath is plumbed for shower



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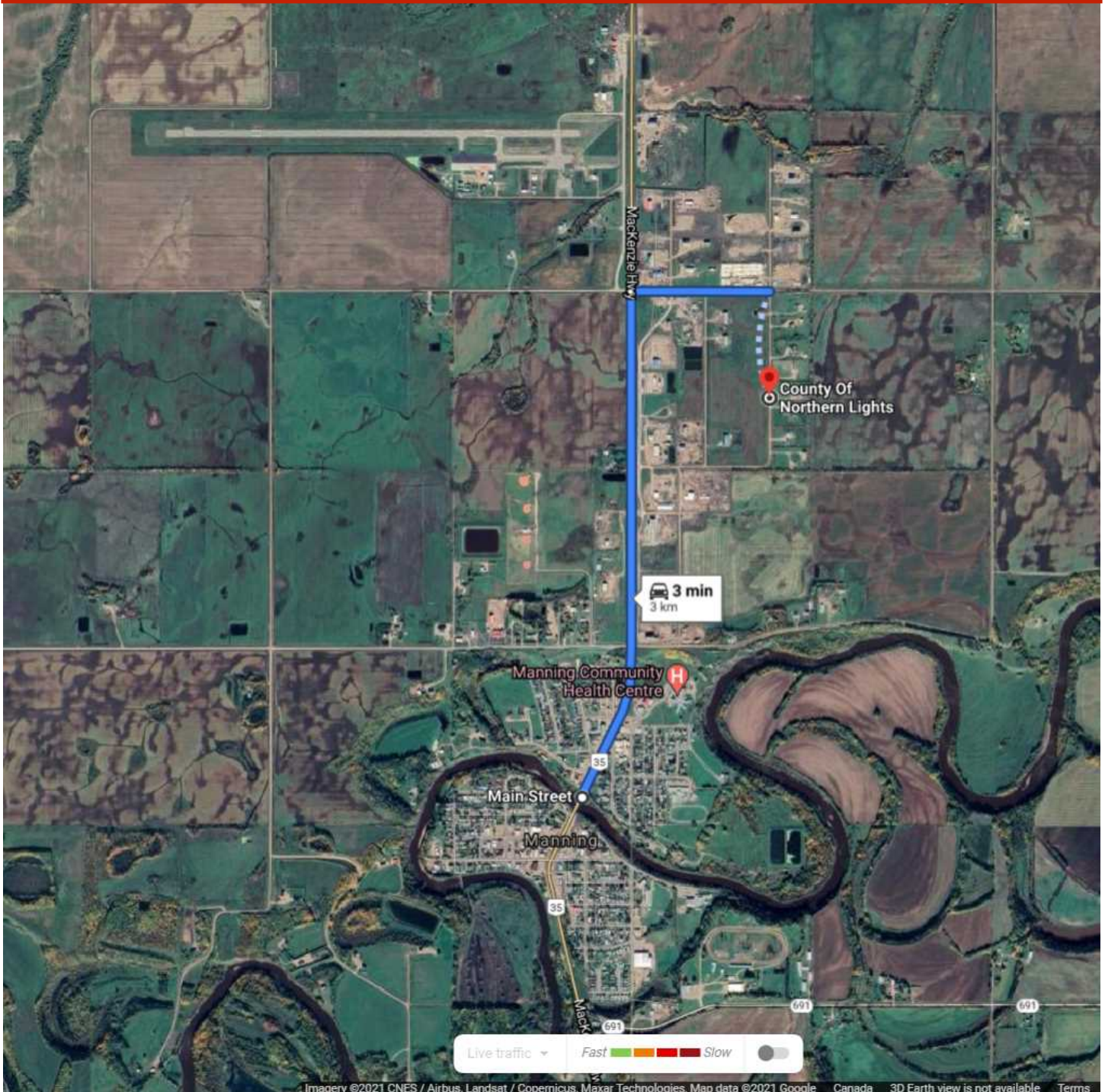


In Floor Heat



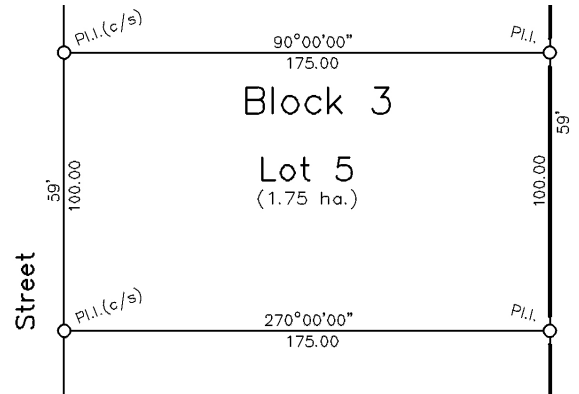
Floor drains

Location

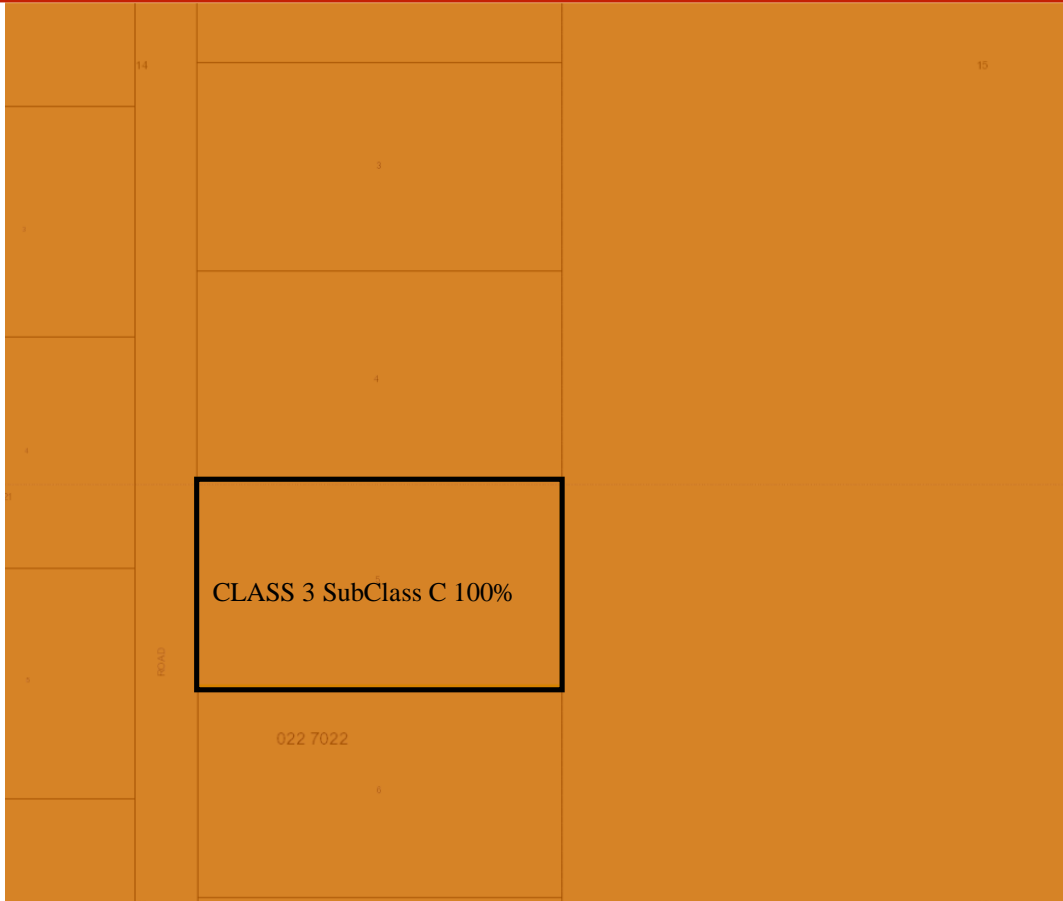


- DIRECTIONS: From Manning - north side of river - continue north 2.3 km on Hwy 35 to Township Rd 920, turn right onto Township Road 920, go 0.6 km on Township Road 920 & turn right and continue south to property- sign on Property..

Aerial Photo & Lot Dimensions



Soil Map



AGRICULTURAL SOIL CLASSIFICATION: The Agriculture layer shows the varying potential of a specific area for agricultural production. It indicates the classes and subclasses according to the Soil Capability Classification of Agriculture, which is based on characteristics of the soil as determined by soil surveys. The mineral soils are grouped into 7 classes and 13 subclasses according to the potential of each soil for the production of field crops. Organic soils are not a part of the classification and are shown as a single separate unit (0).

1.2 AGRICULTURAL SOIL CLASSES

CLASS DESCRIPTION

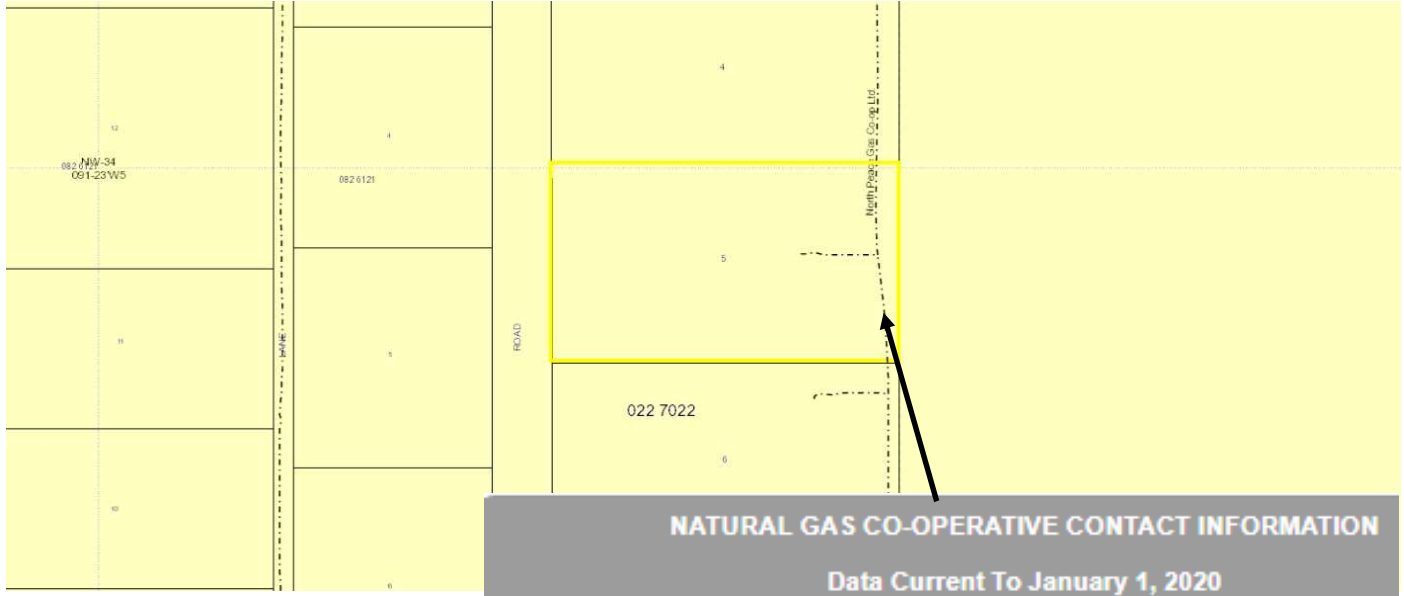
1	No significant limitations in use for crops
2	Moderate limitations that restrict the range of crops or require moderate conservation practices.
3	Moderately severe limitations that restrict the range of crops or require special conservation practices
4	Severe limitations that restrict the range of crops or require special conservation practices
5	Very severe limitations that restrict capability in producing perennial forage crops. Improvement practices are feasible.
6	Capable only of producing perennial forage crops and improvement practices are not feasible
7	No capacity for arable culture or permanent pasture
0	Organic Soils (not placed in capability classes)

1.3 Agricultural Subclasses

Subclass Description

C	Adverse Climate
D	Undesirable soil structure and/or low permeability
E	Erosion
F	Low Fertility
I	Inundation by streams or lakes
M	Moisture limitations
N	Salinity
P	Stoniness
R	Consolidated bedrock
S	Combinations of subclasses
T	Topography
W	Excess Water
X	Soils having limitations resulting from the cumulative effect of two or more adverse characteristics

Pipeline Info

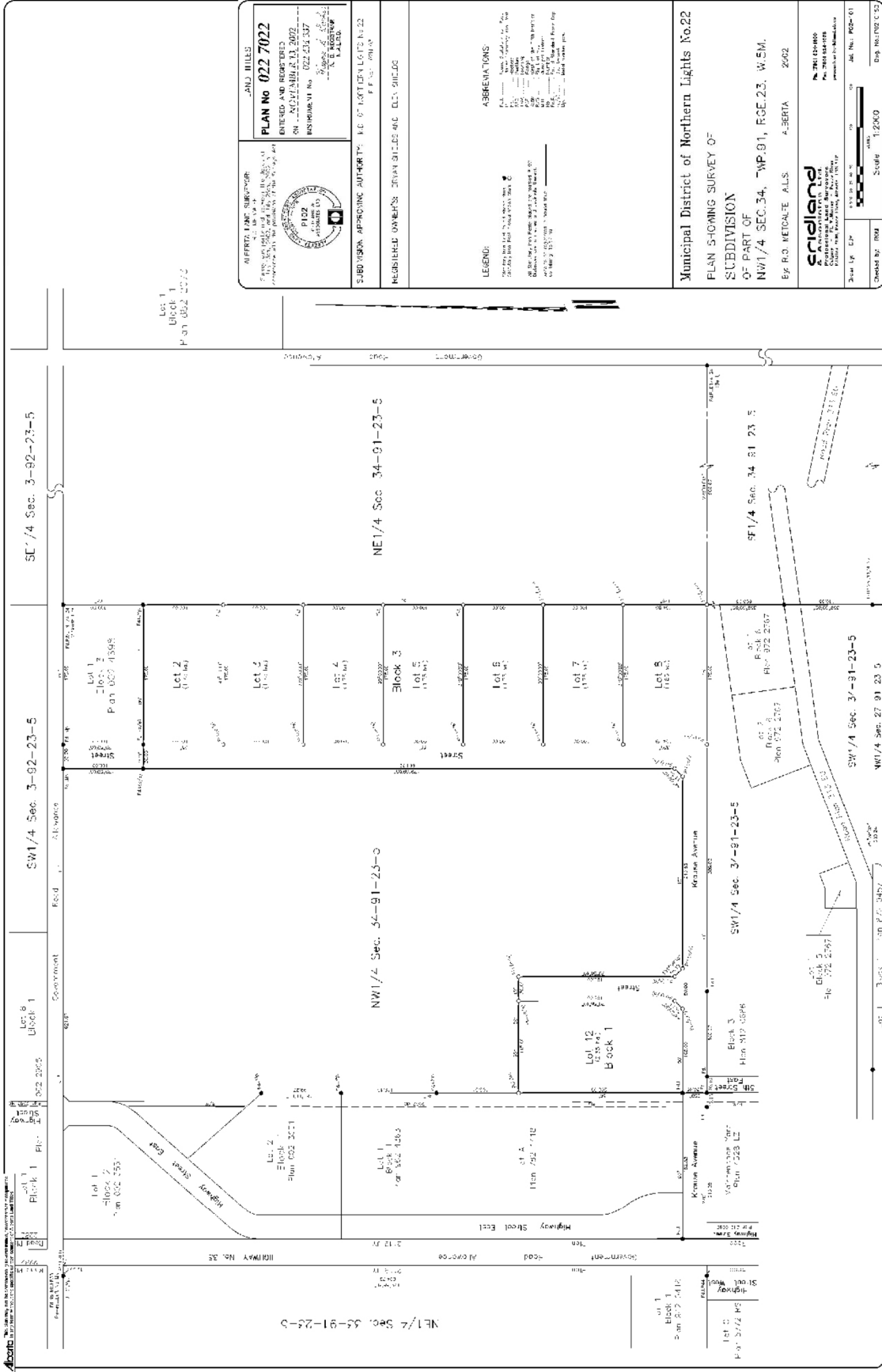


****Pipeline locations are approximate only and do not show actual locations of pipelines****

Name:	North Peace Gas Co-op Ltd.	
Address:	Box 1239 Fairview, T0H 1L0	
Phone #:	(780) 835-5444	Alternate Phone #:
Website:	http://www.northpeacegas.ca	



Survey Plan



Northern Lights County - Land Use Bylaw

K12 AIRPORT PROTECTION (AP) DISTRICT

K12.1 Purpose

The purpose of this district is to identify a protection area which recognizes lands surrounding the Manning airport, significant to the ongoing operation of the airport, and restrict development within the protection area that could cause land use conflict. The boundaries of the protection area are illustrated on Schedule A.

(a) Permitted Uses (Zone 1)	Discretionary Uses (Zone 1)
<ul style="list-style-type: none"> - Accessory Building or Use - Aircraft Sales and Rentals - Airport - Bulk Fuel Depot - Commercial School - Equipment Rentals - Office - Public Use - Sign 	<ul style="list-style-type: none"> - All Permitted Uses contained in the Agriculture General (A) District subject to the provisions of this District - All Permitted Uses contained in the CR1, CR2, CR3 and CR4 Districts subject to the provisions of this District - All Permitted Uses contained in the General Industrial (M1) and Highway Development (HD) District (limited to lots located adjacent to Highway 35) subject to the provisions of this District - Convenience Vehicle Rentals - Home Based Business, Minor - Industrial Service Shop - Manufactured Home - Manufacturing - Private School - Public Utility - Recreation, Extensive - Restaurant - Single Detached Dwelling - Storage Yard - Solar Panels greater than 9.29 m² (100 ft²) in area - Transportation Terminal
(b) Permitted Uses (Zone 2)	Discretionary Uses (Zone 2)
<ul style="list-style-type: none"> - Accessory Building or Use - Commercial School - Convenience Vehicle Rentals - Equipment Rentals - Public Use - Recreation, Extensive - Sign 	<ul style="list-style-type: none"> - All Uses contained in the Agriculture General (A) District subject to the provisions of this District - All uses contained in the CR1, CR2, CR3 and CR4 Districts subject to the provisions of this District - All Uses contained in the General Industrial (M1) and Highway Development (HD) District subject to the provisions of this District - Private School - Public Utility - Solar Panels greater than 9.29 m² (100 ft²) in area

Northern Lights County - Land Use Bylaw

K12.2 Site Provisions

- | | | |
|--------------------------------|--|---|
| (a) Lot Area (minimum): | Airport Property: | 929 m ² (10,000 ft ²) |
| | All Others: | As determined by the Development Authority based on the nature of the proposed use, servicing requirements, and impacts on adjacent land uses.. |
| (b) Front Yard (minimum): | 7.5 m (25 ft) or as required by the Development Authority. If adjacent to a road, Section I31 shall apply. | |
| (c) Side Yard (minimum): | 30.5 m (100 ft), or as required by the Development Authority. | |
| (d) Rear Yard (minimum): | 30.5 m (100 ft), or as required by the Development Authority. | |
| (e) Building Height (maximum): | | |
| (i) Zone 1: | As required by the Development Authority based on Schedule B. | |
| (ii) Zone 2: | 45 m (148 ft). | |

K12.3 Additional Requirements

(a) Definitions

For the purpose of this District, and in addition to Section B, the following definitions shall apply:

- (i) "Airport" means the Manning Airport,
- (ii) "Takeoff/Approach Surfaces" means the surfaces associated with each end of the runway and in each case the surface is imaginary and consists of an inclined plane that:
 - commences at and abuts the end of the runway;
 - rises as a slope ratio of 1:4 measured from the end of the runway;
 - diverges outward on each side as it rises, at a slope ratio of 1:7 measured from the respective projected lateral limits of the runway; and
 - ends at its intersection with the outer surface.
- (iii) "Transitional Surface" means the area associated with each lateral limit of the runway, and in each case the transitional surface is an imaginary plane that:
 - commences at and abuts the end of the runway;
 - rises at a slope ratio of 1:7 measured from the lateral limit of the runway; and
 - ends at its intersection with the outer surface or a takeoff/approach surface.
- (iv) "Outer Surface" means an imaginary surface consisting of a common plane established at a constant elevation of 45m above the airport reference point elevation, measured from the centre point of the runway, established at 491.3 m (1,612 ft) above sea level, with a radius of 4 km.

Map

Northern Lights County - Land Use Bylaw

- (b) Notwithstanding Section D2 of this Bylaw, all development on lands included in this District, including fencing and agricultural pursuits, requires a development permit, except for:
 - (i) carrying out of works of maintenance or repair to any building, if the works do not include structural alterations or major works of renovation, causing the raising of a roof line, add any structure, antennae or chimney to the roof, or during the act of repair or maintenance, place any equipment on the roof that exceeds the peak or the highest point of the roof; and
 - (ii) the erection or construction of gates, fences, walls or other means of enclosure less than 0.9 m (3 ft) in height, and the maintenance, improvement and other alterations of any gates, fences or walls or other means of enclosure.
- (c) A development permit for a development in this District may only be issued if the proposed development conforms to the uses and regulations of this District, and the requirements of Section C3 of this Bylaw.
- (d) Notwithstanding subsection (b), all development in excess of 5 m (16 ft) above the airport reference point elevation shall require a development permit. The airport reference point elevation shall be deemed to be 491m (1,612 feet) above sea level.
- (e) Any use which, in the opinion of the Development Authority, may attract concentrations of birds near the airport shall be discouraged from locating in this District.
- (f) No use may create smoke, dust, electronic interference or include misleading lighting.
- (g) A development permit shall not be issued for a proposed development in this District if the highest point of the development will exceed in elevation at the location of that point any of the following surfaces that project immediately above the surface of the land at that location, as illustrated on Schedule B:
 - (i) the take-off/approach surface of the runway of the airport and an extension to 6 km to the west to accommodate for precision landing in the future;
 - (ii) the transitional surfaces of the runway of the airport; and
 - (iii) the outer surface of the airport.
- (h) For the purpose of this District:
 - (i) for the development of a railway, the highest point of the development shall be deemed to be 6.1 m (20 ft) higher than the actual height of the rails; and
 - (ii) for the development of a roadway or highway, the highest point of the development shall be deemed to be 4 m (13 ft) higher than the centre line of the roadway.
- (i) No source of high level electromagnetic interference (EMI), such as heavy electrical equipment, electrical welding, or high tension power lines shall be permitted within the protection area.
- (j) All construction in this District shall conform to the exterior acoustic insulation requirements of Part II of the Alberta Building Code, (Alta.Reg.186/85).
- (k) Design, Character and Appearance of Buildings

Buildings shall be designed appropriately for the intended use. All structures proposed on the airport lands, shall be reviewed by the Development Authority. Exterior materials shall be wood, metal or similar siding, brick or stucco. Roof lines shall include peaks wherever possible. The

Northern Lights County - Land Use Bylaw

finish and appearance should complement other structures, natural site features and the aviation theme.

(l) Landscaping

In addition to other provisions of this Bylaw, permitted uses and any discretionary uses not hereby listed may be screened from view with a vegetated buffer strip and/or other screening of a visually pleasing nature as required by the Development Authority.

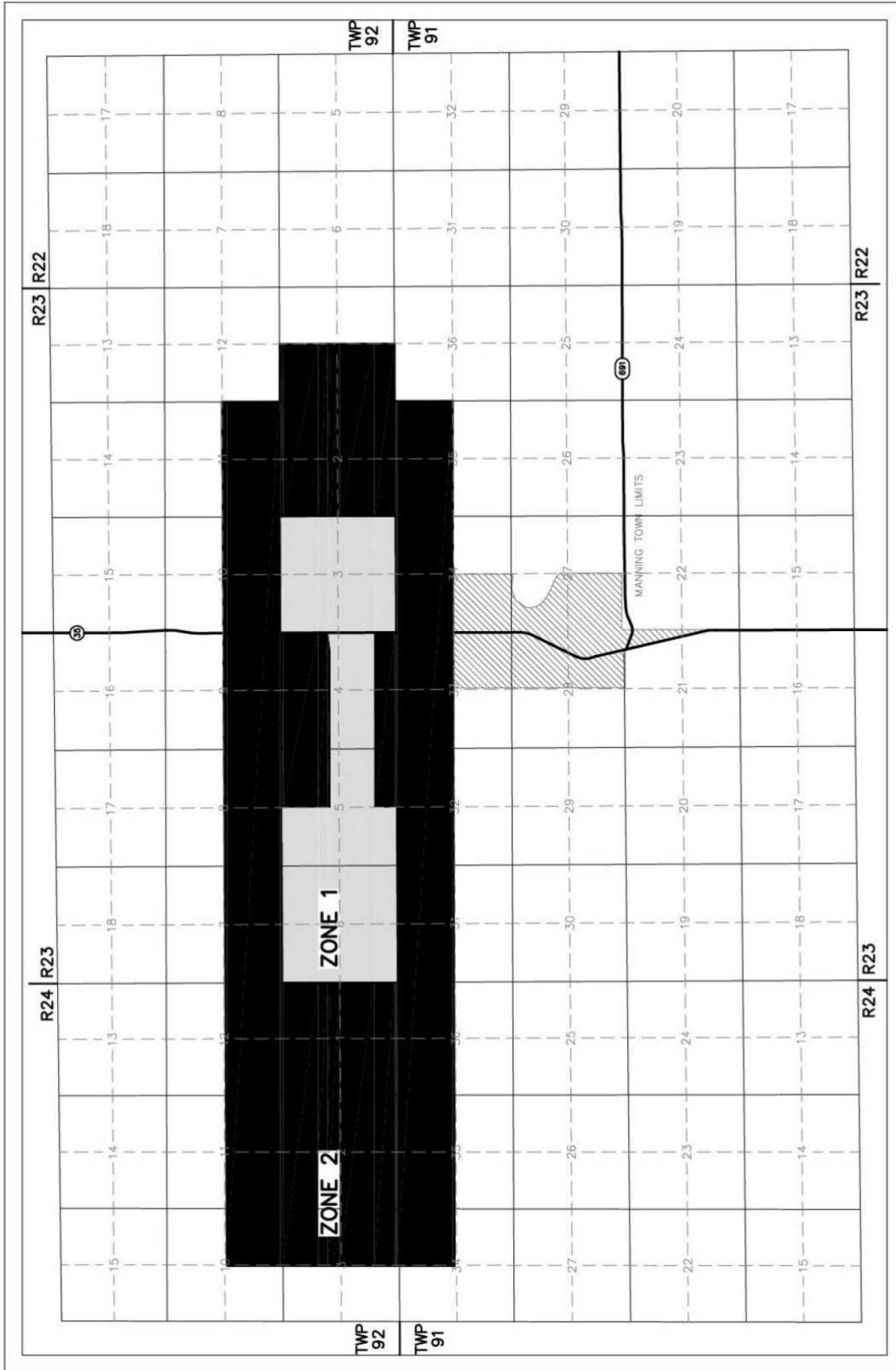
(m) Loading Space

One loading space opposite each loading door on the airport property.

(n) Lighting

All lighting within this area shall be directed at structures or low mast. They shall not be high intensity, high mast or upwardly reflective, and shall be subject to review by the Development Authority.

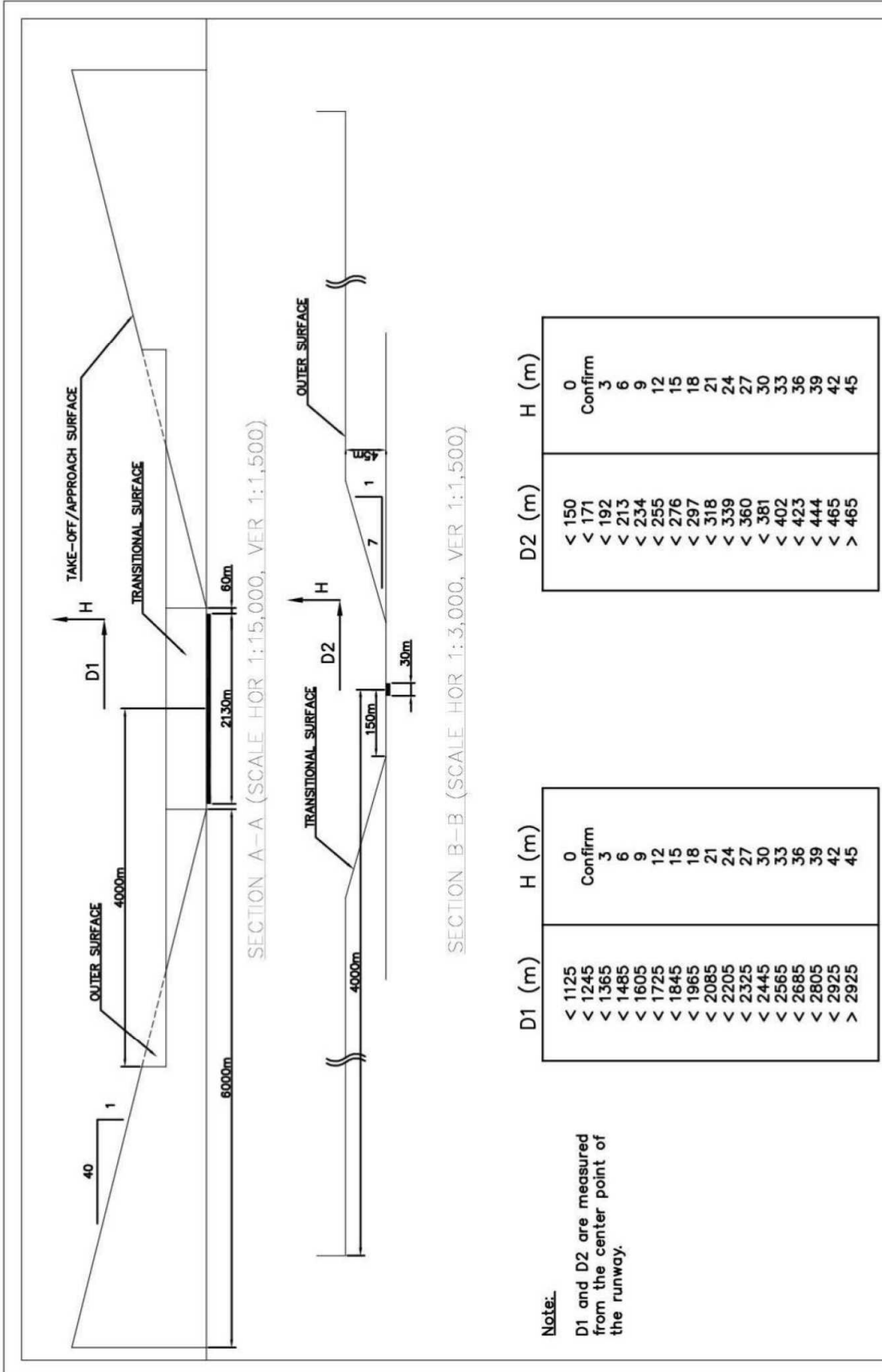
Northern Lights County - Land Use Bylaw



MANNING AIRPORT PROTECTION DISTRICT
SCHEDULE A

 EBA Engineering Consultants Ltd.

Northern Lights County - Land Use Bylaw

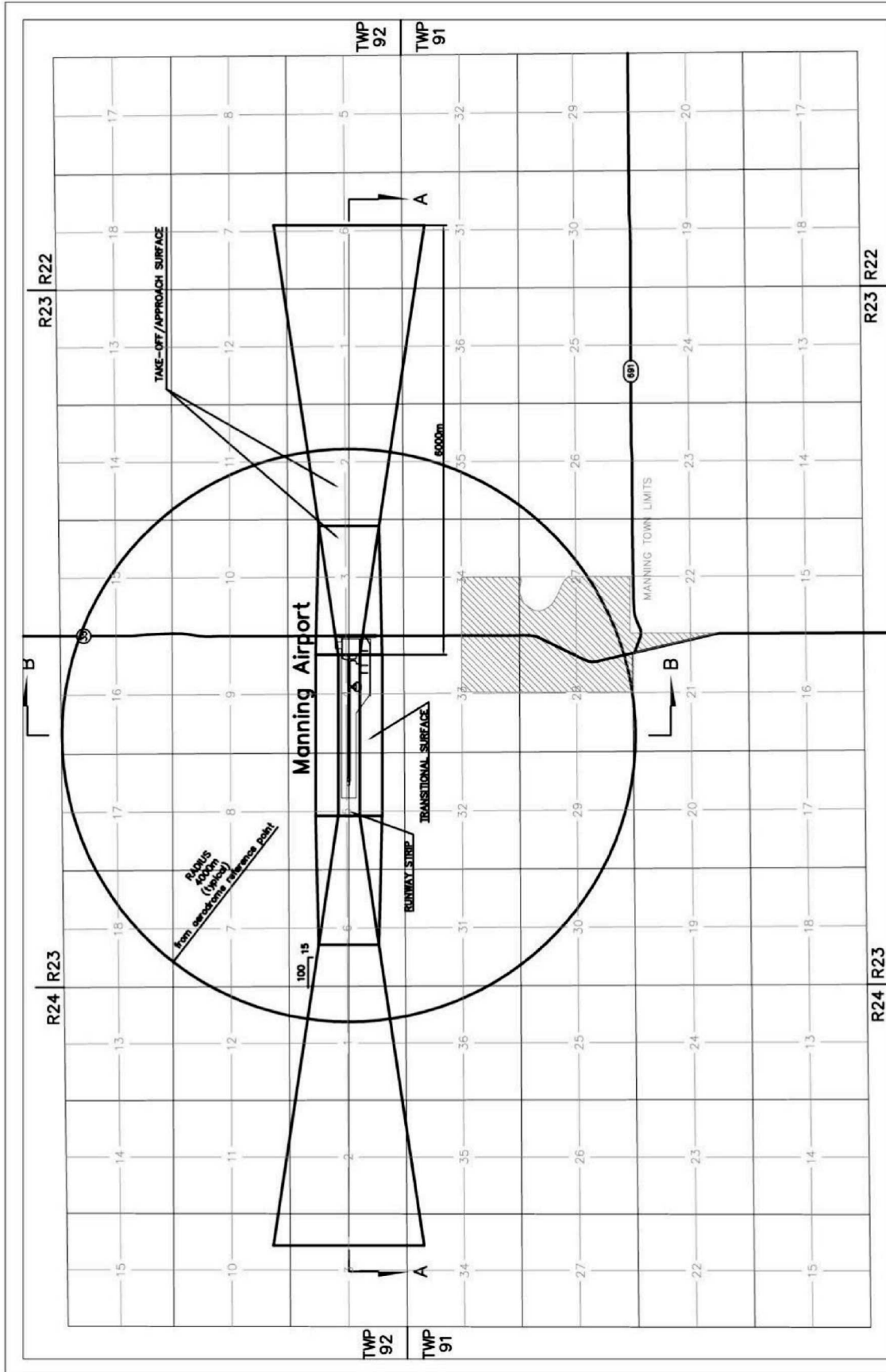


MANNING AIRPORT PROTECTION DISTRICT
SCHEDULE B

EBA Engineering Consultants Ltd.



Northern Lights County - Land Use Bylaw



MANNING AIRPORT PROTECTION DISTRICT
SCHEDULE C

 EBA Engineering Consultants Ltd.

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Phone: (780) 834-6888

Southern Alberta – Taber, AB

93080 RGE RD 182 Cranford, AB

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Kelowna, BC

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