

5.24± Acres with Two Homes and Multiple Barns



38201 Jones Road, Mission, BC
Due Diligence Package

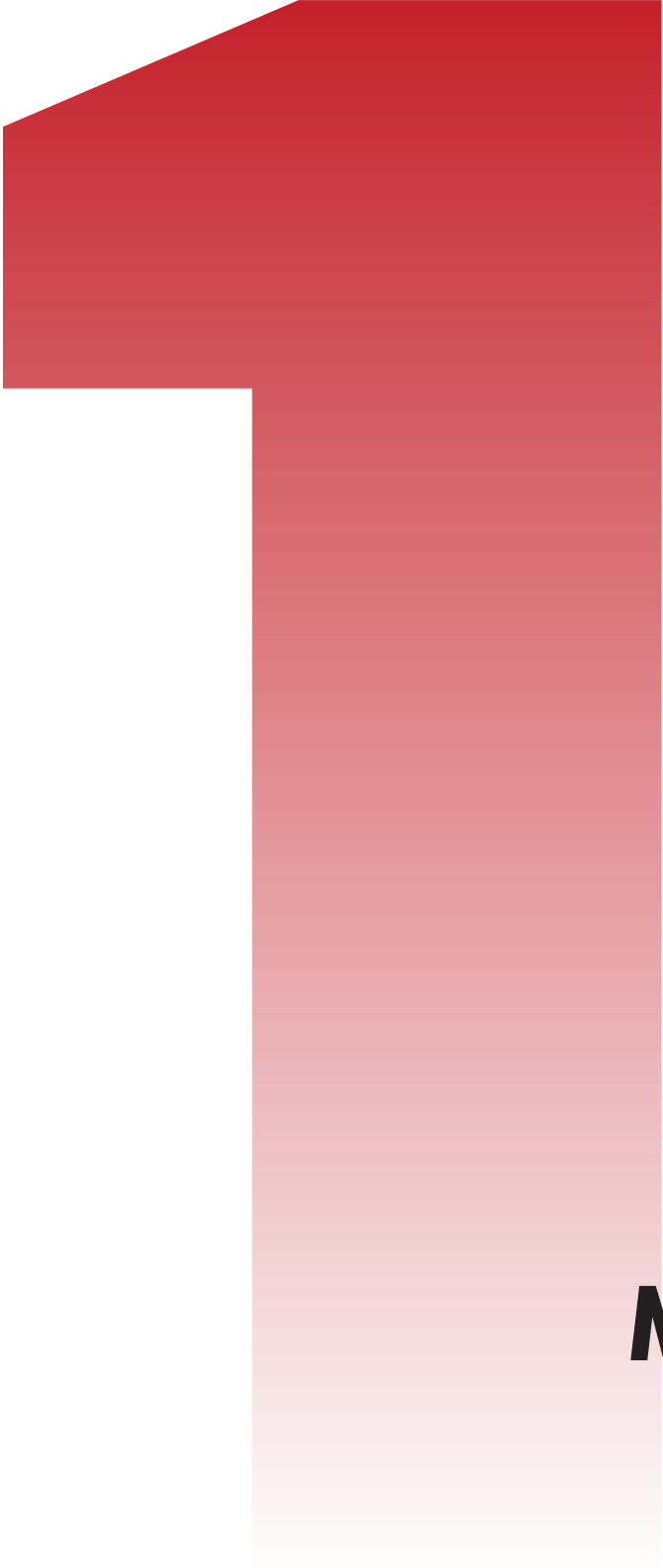
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TEAM **AUCTIONS**

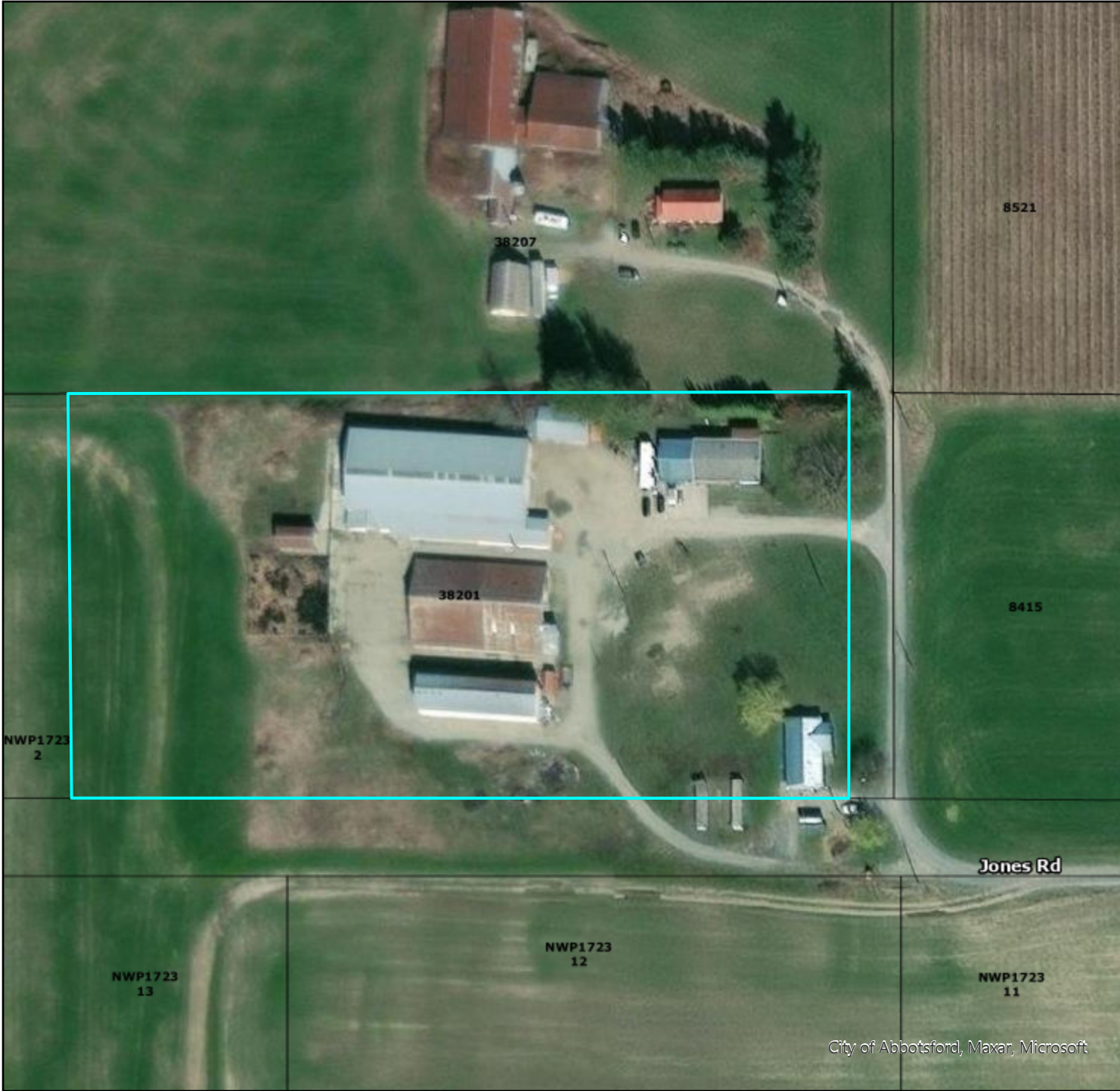
Sekura Auctions Since 1966

Due Diligence Package for 38201 Jones Road, Mission, BC

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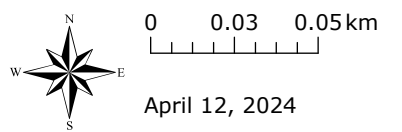


Maps



**FVRD Map - 38201
JONES ROAD**

- Jurisdictions
- Properties



Disclaimer: This map was compiled by the Fraser Valley Regional District, using data believed to be accurate; however, a margin of error is inherent in all maps. This product is distributed without warranties of any kind, either expressed or implied, including but not limited to warranties of suitability of particular purpose or use.



MLS Sheet

Active
R2868439
 Board: F
 House with Acreage

38201 JONES ROAD

Mission
 Dewdney Deroche
 V0M 1H0

Residential Detached

\$2,100,000 (LP)

(SP) **M**



Sold Date: If new, GST/HST inc?: **No** Original Price: **\$2,100,000**
 Meas. Type: **Feet** Bedrooms: **6** Approx. Year Built: **1978**
 Frontage(feet): **343.76** Bathrooms: **2** Age: **46**
 Frontage(metres): **104.78** Full Baths: **2** Zoning: **AG-4**
 Depth / Size: Half Baths: **0** Gross Taxes: **\$3,167.93**
 Lot Area (sq.ft.): **228,167.28** Rear Yard Exp: For Tax Year: **2023**
 Lot Area (acres): **5.24** P.I.D.: **023-081-198** Tax Inc. Utilities?: **No**
 Flood Plain: **Yes** Tour:
 View: **Yes: Mountains and Pasture**
 Complex/Subdiv:
 First Nation Reserve:
 Services Connected: **Electricity, Septic, Water**
 Sewer Type: **Septic** Water Supply: **Sandpoint**

Style of Home: **Split Entry** Total Parking: Covered Parking: Parking Access:
 Construction: **Frame - Wood** Parking: **Garage; Double, Open, RV Parking Avail.**
 Exterior: **Other, Vinyl, Wood** Driveway Finish:
 Foundation: **Concrete Perimeter** Dist. to Public Transit: Dist. to School Bus:
 Renovations: Title to Land: **Freehold NonStrata** Land Lease Expiry Year:
 # of Fireplaces: **1** R.I. Fireplaces: Reno. Year: Property Disc.: **Yes**
 Fireplace Fuel: **Wood** Rain Screen: Metered Fixtures **No** :
 Fuel/Heating: **Forced Air, Propane Gas** R.I. Plumbing: Fixtures Rmvd: **No** :
 Outdoor Area: **Balcny(s) Patio(s) Dck(s)** Floor Finish: **Mixed**
 Type of Roof: **Asphalt**

Legal: **PARCEL A SECTION 28 TOWNSHIP 20 NEW WESTMINSTER DISTRICT PLAN LMP22058**

Amenities: **Barn, Garden, Green House, Guest Suite, Workshop Detached**

Site Influences: **Private Setting, Rural Setting**
 Features: **ClthWsh/Dryr/Frdg/Stve/DW**

Finished Floor (Main):	1,520	Floor	Type	Dimensions	Floor	Type	Dimensions	Bathrooms
Finished Floor (Above):	0	Main	Living Room	15' x 19'			x	Floor #Pcs
Finished Floor (AbvMain2):	0	Main	Kitchen	9' x 11'			x	Main 3
Finished Floor (Below):	0	Main	Dining Room	11' x 11'			x	Bsmt 3
Finished Floor (Basement):	1,132	Main	Primary Bedroom	11' x 11'			x	
Finished Floor (Total):	2,652 sq. ft.	Main	Bedroom	10' x 14'			x	
Unfinished Floor:	0	Main	Bedroom	11' x 11'			x	
Grand Total:	2,652 sq. ft.	Bsmt	Bedroom	14' x 14'			x	
Flr Area (Det'd 2nd Res):	sq. ft.	Bsmt	Bedroom	12' x 12'			x	
Suite: Other, Unauthorized Suite		Bsmt	Recreation Room	18' x 29'			x	
Basement: Full, Fully Finished		Bsmt	Living Room	22' x 11'			x	
		Bsmt	Bedroom	12' x 12'			x	
							x	
							x	

Crawl/Bsmt. Height: # of Levels: **2** Manuf Type: Registered in PAD Rental:
 # of Kitchens: **1** # of Rooms: **11** MHR# CSA/BCE: Maint. Fee:
 ByLaw

Listing Broker(s): **B.C. Farm & Ranch Realty Corp.** **B.C. Farm & Ranch Realty Corp.**

UNRESERVED AUCTION JUNE 4-6, 2024. Seller will not review offers until June 6, 2024 @ 10am. 5+ ACRES w/ 2 HOMES and ~20,000 sq/ft of covered concrete barn space. Rental income from storage & multiple living accommodations. Main home has 6 bdrms, an in-law suite w/separate entrance & full kitchen, 2 bathrms, a covered deck, & a dble garage. 2nd home offers 4-bdrm, 2-bathrm with its own garden & yard space. Both homes have updated furnaces & hot water tanks. The 3 barns measure 30' x 110', 50' x 110', and 80' x 145'. A total of 800 amps services the farm. 4 separate metered 200 amp services: one for the main house, one for the trailer, one for the main barn, & one for the cement barn. Secluded road with two driveways, gardens, heated greenhouse PLUS heated double bay workshop.



Zoning

Detailed Tax Report

Property Information			
Prop Address	38201 JONES RD	Jurisdiction	MAPLE RIDGE RURAL 2
Municipality	MAPLE RIDGE RURAL	Neighborhood	DEWDNEY & NICOMEN
Area	MISSION	SubAreaCode	F85
PropertyID	023-081-198	BoardCode	F
PostalCode	V0M 1H0		

Property Tax Information			
TaxRoll Number	02505400	Gross Taxes	\$3,167.93
Tax Year	2023	Tax Amount Updated	06/23/2023

More PIDS

023-081-198

More PIDS2

Legal Information									
PlanNum	Lot	Block	LotDist	LandDist	Section	Twndship	Range	Meridian	
LMP22058				36	28	20			

Legal FullDescription

PARCEL A, PLAN LMP22058, SECTION 28, TOWNSHIP 20, NEW WESTMINSTER LAND DISTRICT, MANUFACTURED HOME REG.# 2010

Land & Building Information			
Width		Depth	
Lot Size	5.238 ACRES	Land Use	
Actual Use	2 ACRES OR MORE (SINGLE FAMILY DWELLING, DUPLEX)	Zoning	
Year Built	1978		
BCA Description	1 STY SFD - AFTER 1960 - STANDARD		
WaterConn			
BCAData Update	01/05/2024		

Supplementary Property Info			
BedRooms	5	Foundation	BASEMENT
Full Bath	1	Half Bath2	0
Half Bath3	0	Stories	1.00
Pool Flg		Carport	
Garage S	1	Garage M	

Actual Totals		
Land	Improvement	Actual Total
\$1,152,000.00	\$533,000.00	\$1,685,000.00

Municipal Taxable Totals				
Gross Land	Gross Improve	Exempt Land	Exempt Improve	Municipal Total
\$1,152,000.00	\$533,000.00	\$0.00	\$0.00	\$1,685,000.00

School Taxable Totals				
Gross LandSch	Gross ImproveSch	Exempt LandSch	Exempt ImproveSch	School Total
\$1,152,000.00	\$533,000.00	\$576,000.00	\$0.00	\$1,109,000.00

Sales History Information			
Sale Date	Sale Price	Document Num	SaleTransaction Type
12/5/2019	\$803,400.00	CA7912306	REJECT - NOT SUITABLE FOR SALES ANALYSIS
11/18/2019	\$803,400.00	CA7873926	REJECT - NOT SUITABLE FOR SALES ANALYSIS
7/9/2019	\$126,600.00	CA7610781	REJECT - NOT SUITABLE FOR SALES ANALYSIS



Tax Report

8.4

AGRICULTURAL 4

AG-4

Intent

The Agricultural 4 (AG-4) zone is for *Farm Use* and *Residential Use* on lots at least 16.0 ha in lot area.

8.4.1 Permitted Uses

The following principal uses are permitted:

Farm;

Residential;

Intensive Agriculture;

Kennel;

Cannabis Production Facility (excluding Electoral Area F).

The following accessory uses are permitted:

Accessory Dwelling Unit (excluding Electoral Areas E and F);

Accessory Personal Care Residential;

Accessory Employee Residential;

Boarding;

Home Occupation;

Cottage Industry;

Agricultural Market;

Outdoor Storage;

Produce Sales;

Secondary Suite (excluding Electoral Areas E and F).

8.4.2 Site-Specific Uses

None.

8.4.3 Development Regulations

Subject	Requirement or Regulation
Maximum <i>Density - Residential</i>	One (1) <i>dwelling unit</i> in a <i>single detached dwelling</i> per <i>lot</i>
Maximum <i>Density – Accessory Dwelling Unit, Accessory Personal Care Residential, Secondary Suite</i>	One (1) <i>dwelling unit</i> per <i>lot</i>
Maximum <i>Density – Accessory Employee Residential</i>	One (1) <i>dwelling unit</i> in a <i>single detached dwelling</i> on a <i>lot</i> with a <i>lot area</i> greater than 7.5 ha; or Two (2) <i>dwelling units</i> in <i>single detached dwellings</i> on a <i>lot</i> with a <i>lot area</i> greater than 15.0 ha
Minimum <i>Setback – Front</i>	6.0 m
Minimum <i>Setback – Exterior-Side</i>	6.0 m
Minimum <i>Setback – Interior-Side</i>	1.5 m
Minimum <i>Setback – Rear</i>	6.0 m
Maximum <i>Lot Coverage</i>	40% (excluding greenhouses) 60% (including greenhouses)
Maximum <i>Height</i>	11.0 m 9.0 m – <i>Accessory Dwelling Unit</i>

8.4.4 Subdivision Regulations

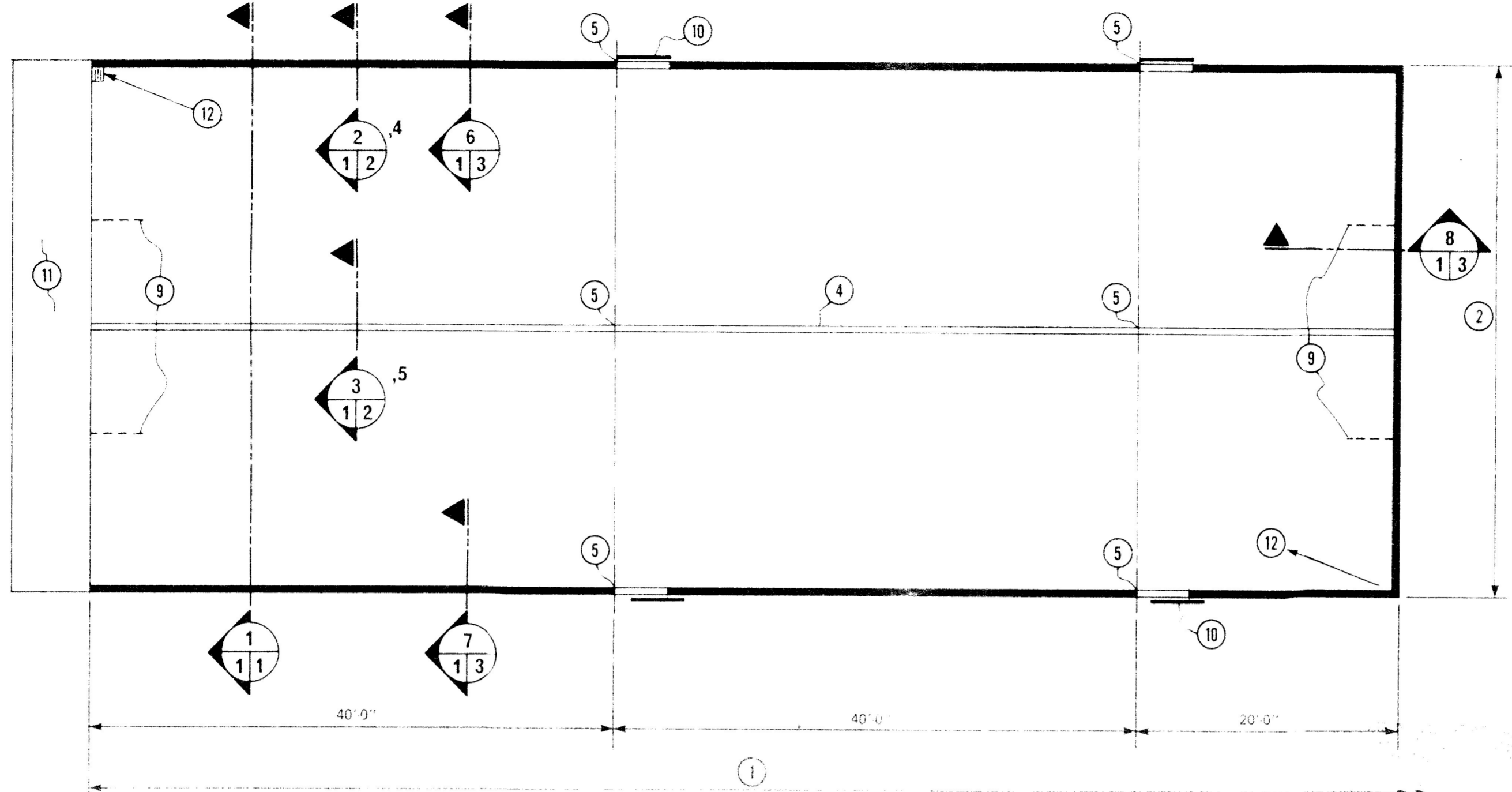
Subject	Requirement or Regulation
Minimum <i>Lot Area</i>	16.0 ha

8.4.5 Conditions of Use

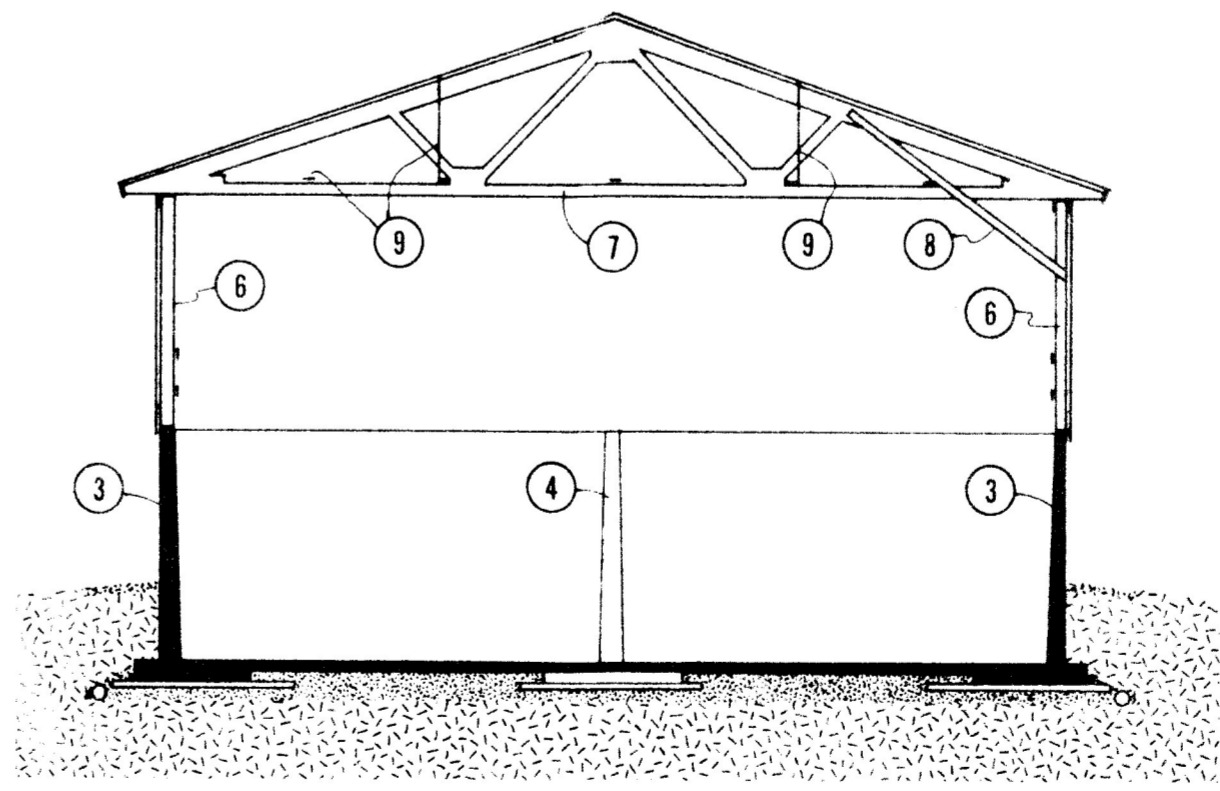
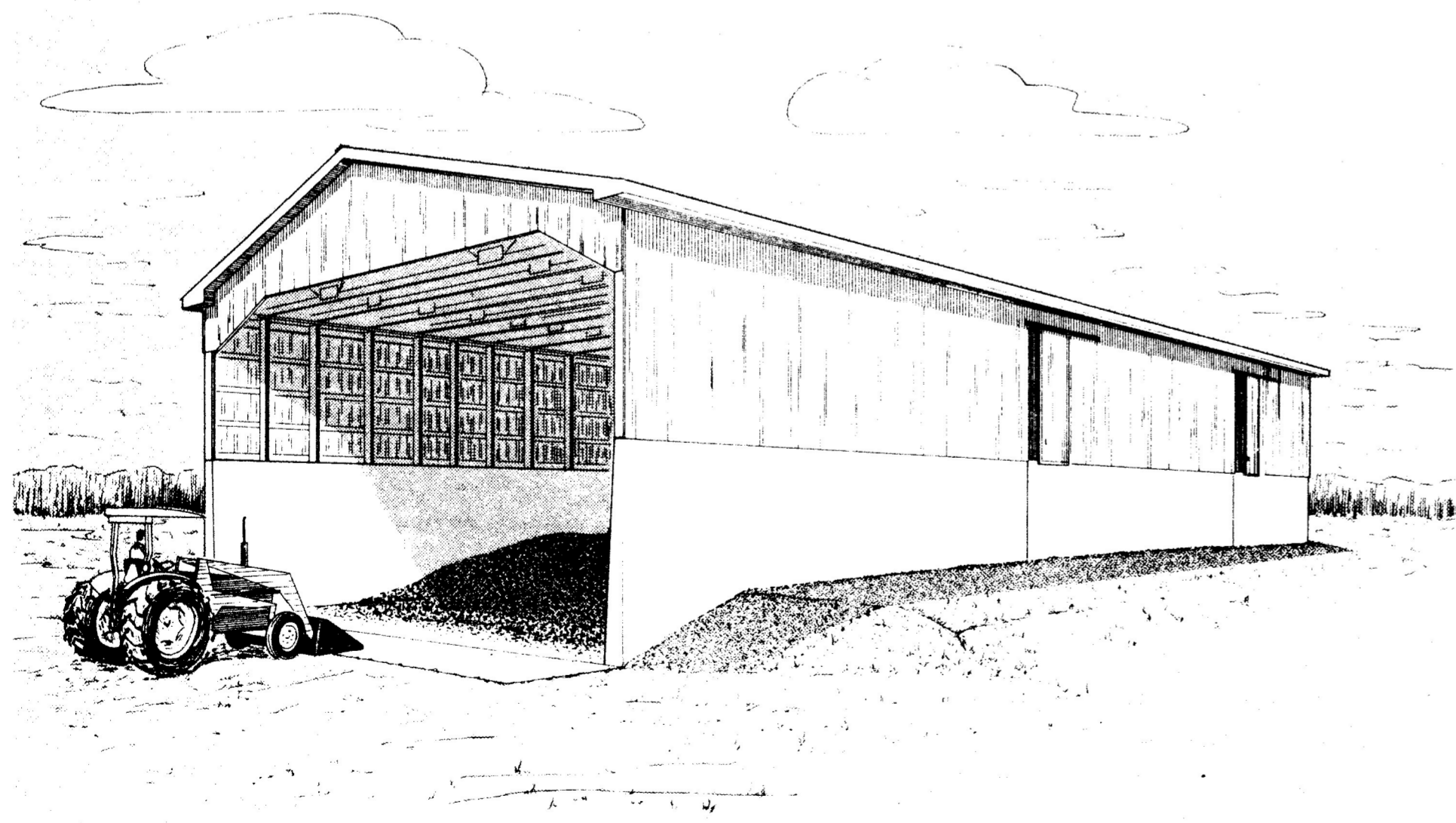
None.



Permit History



WARNING
 This plan may require structural and other changes to meet local site conditions, climatic loads, user requirements and applicable building regulations (such as the Canadian Farm Building Code). Before construction, the user of this plan is responsible to ensure that all required changes are made.



1
11

- 1 length in multiples of 4'-0"
- 2 width to suit storage capacity & feeding rate
- 3 concrete foundation 10'-0" see sheet 2
- 4 optional divider concrete wall
- 5 construction joints @ 40'-0" oc; stop returns
- 6 2 x 6 x 10'-0" studs, same spacing as (7), double studs @ (8)
- 7 truss @ 4'-0" oc max., or to suit snow + dead roof load
- 8 knee bracing on one side of building only
- 9 truss stiffeners & cross bracing, see 9102
- 10 optional 4'-0" x 10'-0" sliding door for filling
- 11 extended concrete apron, size as required
- 12 may slope floor diagonally 1 - 2% to catch basin, drain to liquid manure tank

SPECIFICATIONS

Unless otherwise specified, all cast-in-place concrete is to be min. 4000 psi at 28 days, 6% air-entrainment

All reinforcing steel to be min. 40 000 psi deformed bars; provide 2" concrete cover over reinforcing steel

All exposed steel to be galvanized or painted to resist corrosion from moisture and silage contact

All wood indicated 'pressure-treated' is CCA pressure-treated to a wet retention of 0.4 lbs/cu ft ground contact and 0.2 lbs/cu ft non-ground contact

All wood indicated 'natural' is kiln-dried to a maximum moisture content of 19% and is to be naturally kiln-dried

All untreated framing lumber is No. 2 (or better), S-P-F species group, unless otherwise specified

This plan is designed to meet the requirements of the Canadian Farm Building Code

Notes thus marked indicate where this plan gives structural choices to be selected to meet local climatic loads (wind, snow), soil bearing capacity and other site conditions. The plan user must ensure that these requirements are met. Consult an engineer if you are not familiar with the details required

ONE SET OF DRAWINGS AND LEAFLETS SHOULD INCLUDE:

CPS no.	sheet no.	Title
1	1	Roofed horizontal silo
2	2	Concrete and foundation details
3	3	Stud wall and roof details

AND LEAFLETS

- 4-1 Truss erection and bracing
- 4-2 Sliding doors

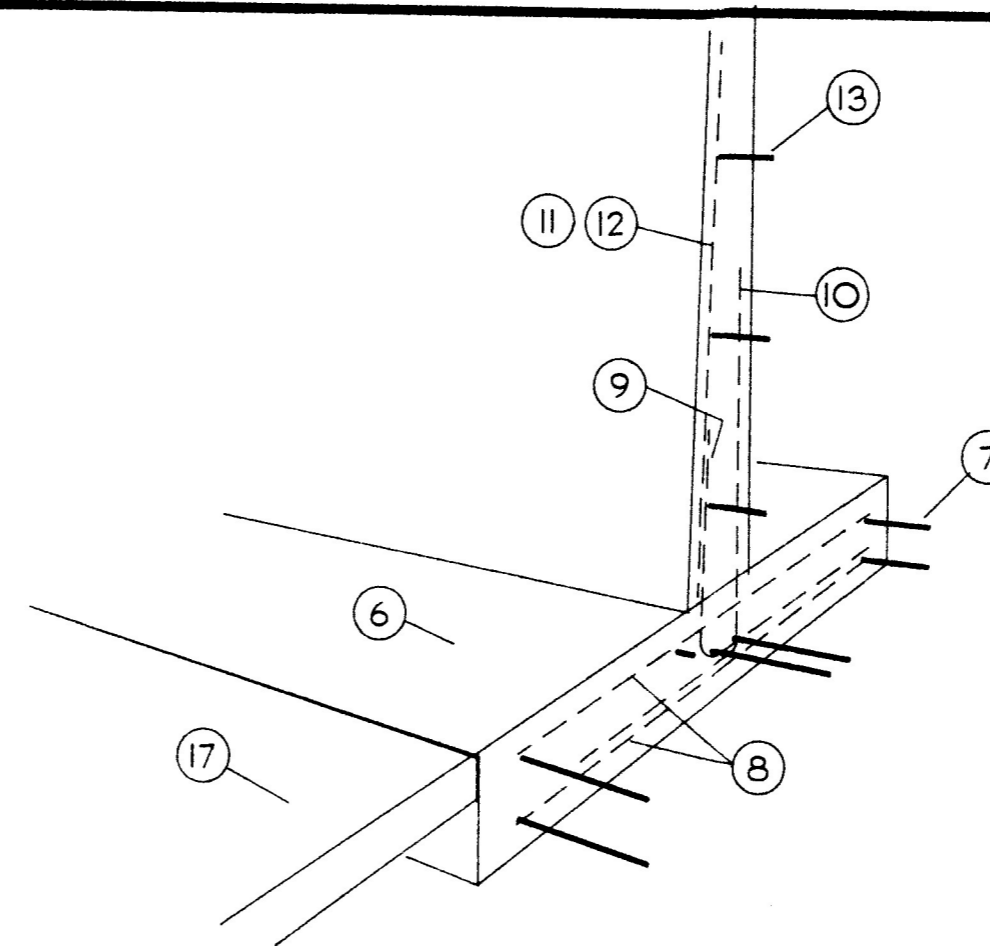
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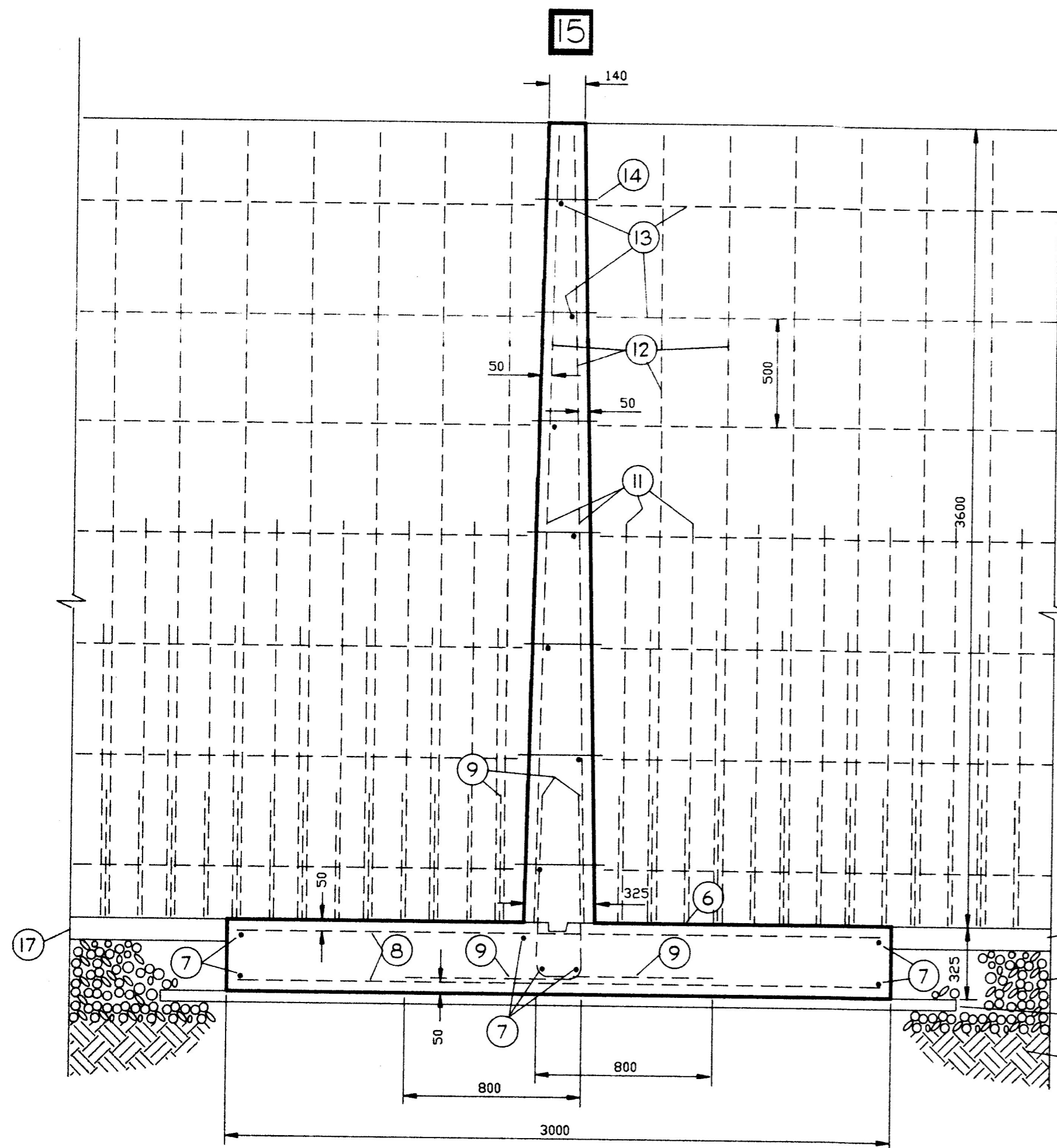
ROOFED HORIZONTAL
 SILO
 (not to scale)

DESIGNED JET	DATE 86-06	PLAN
DRAWN D BROWN	REVISED 87-05	372-54
TRACED	DETAIL NUMBER A	SHEET 1 OF 2
CHECKED H.A.J.	ORIGINATES ON SHEET B DRAWN ON SHEET C	

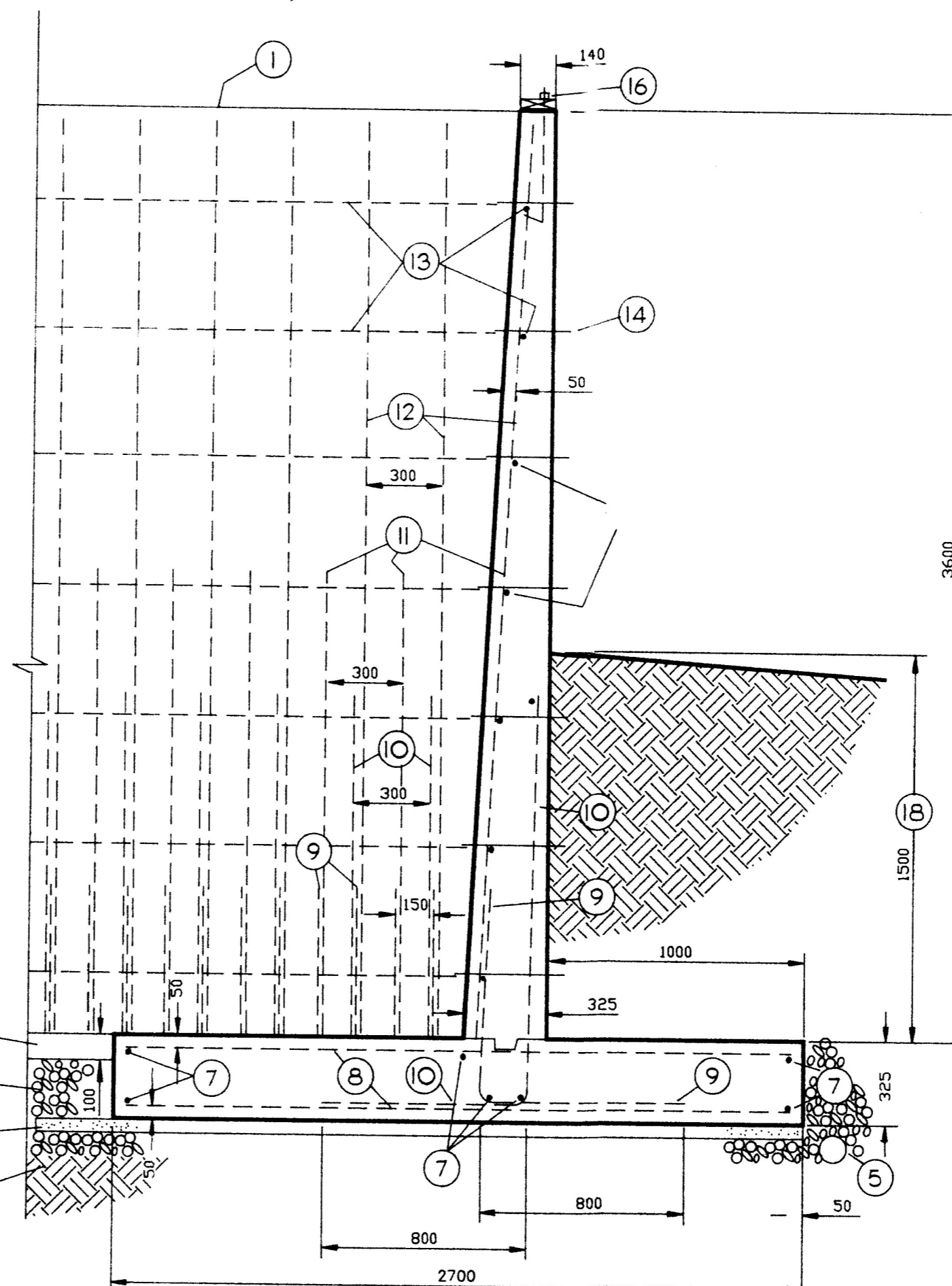
ALL DIMENSIONS ARE IN MILLIMETRES (mm) UNLESS OTHERWISE SPECIFIED



- 1 datum line, top of concrete wall
- 2 undisturbed well-drained subsoil, bearing strength at least 105 kPa (2200 lb/ft²)
- 3 300 mm gravel fill, compacted smooth & flat
- 4 for frost sensitive soils in cold climates, add extruded polystyrene foam insulation board (DOW SM, or equal), 50 mm min. thickness; 3000 mm at side walls, 3600 mm at divider wall
- 5 perimeter drain, 100 mm perforated plastic drain tube
- 6 concrete footing with keyway
- 7 15M continuous temperature rebar
- 8 15M horizontal rebar @ 150 mm oc, length 100 mm less than width of footing
- 9 15M x 1600 mm L-bars @ 150 mm oc hook under (7)
- 10 15M x 2400 mm L-bars @ 300 mm oc
- 11 15M x 1800 mm vertical rebar @ 300 mm oc, alternating with (12)
- 12 15M x 3550 mm vertical rebar @ 300 mm oc, alternating with (11)
- 13 15M continuous horizontal temperature rebar @ 500 mm oc, hook 600 mm at each corner
- 14 formties spaced vertically @ 500 mm oc; top ties 175 mm, increase 25 mm each row from top
- 15 optional divider wall; same reinforcing schedule as exterior wall except vertical rebar BOTH faces, horizontal rebar alternating sides
- 16 5/8" anchor bolt & 6 x 100 x 100 mm square washer @ 1200 mm spaced to arrive beside each stud, bolt center 50 mm from outer edge of sill and 50 mm from stud
- 17 concrete floor; isolation joint at (6); polysulphide caulk all isolation joints
- 18 minimum soil backfill height of 1500 mm (to resist wall sliding); 1:3 slope to floor level at front corners of open end



3
1 2 SCALE: 1mm = 20mm



2
1 2 SCALE: 1mm = 20mm

THIS IS A CONCEPTUAL PLAN ONLY AND MAY NOT BE ADEQUATE TO OBTAIN A BUILDING PERMIT

These plans are provided only as guidelines. They are not intended to be used as a basis for design or construction. The user is responsible for obtaining all necessary permits and approvals. The user is also responsible for ensuring that the plans comply with all applicable codes and standards.

Soil conditions, rain and wind loads as well as other conditions should be checked with the appropriate municipal or regional building department to satisfy permit requirements. Professional engineering design and inspection may be necessary.

The B.C. Ministry of Agriculture, Fisheries and Food accepts no responsibility or liability for the use of these plans.

RESOURCE MANAGEMENT BRANCH
B.C. Ministry of Agriculture, Fisheries and Food

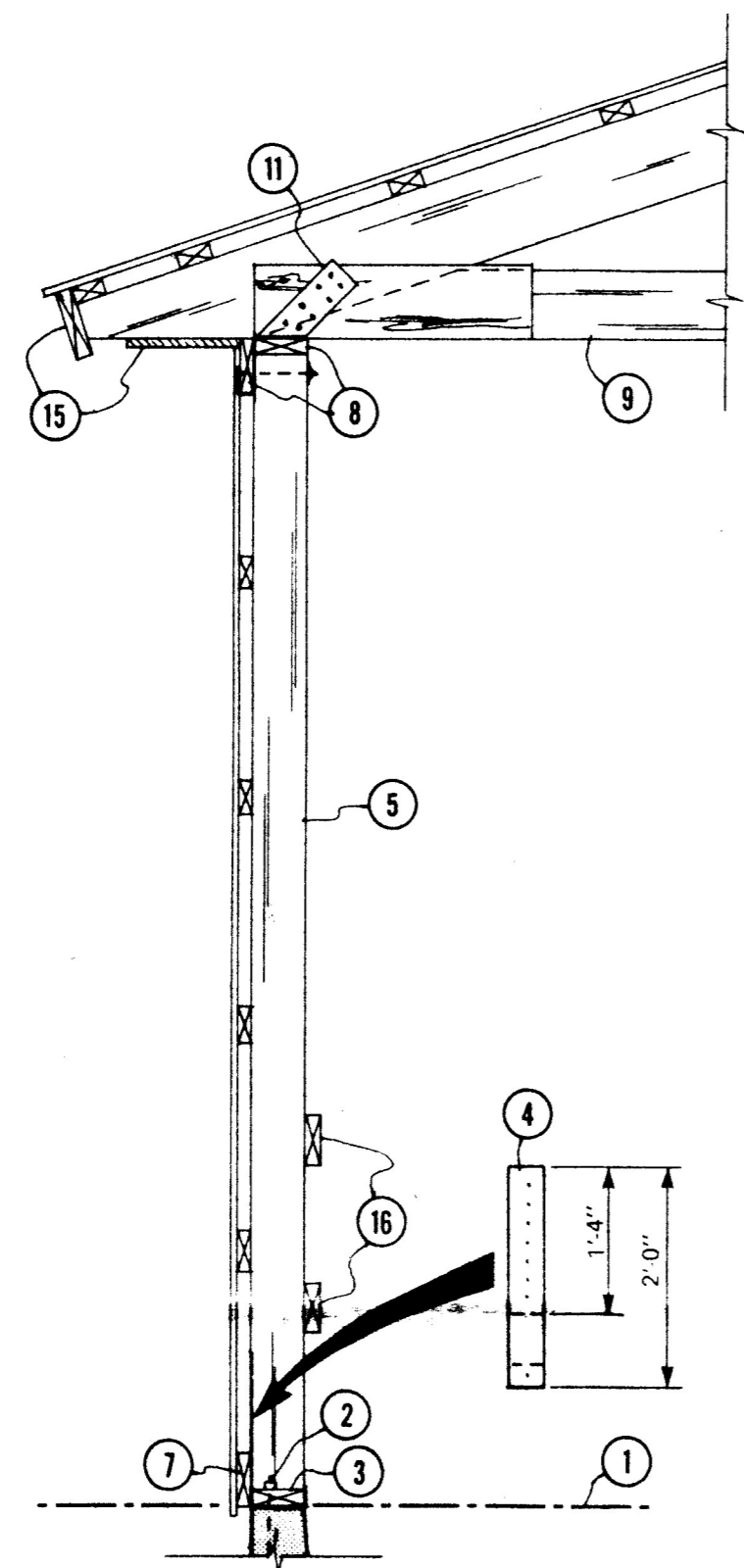
PRELIMINARY ONLY

SYM	REVISIONS	CHECKED	DATE	APPROVED

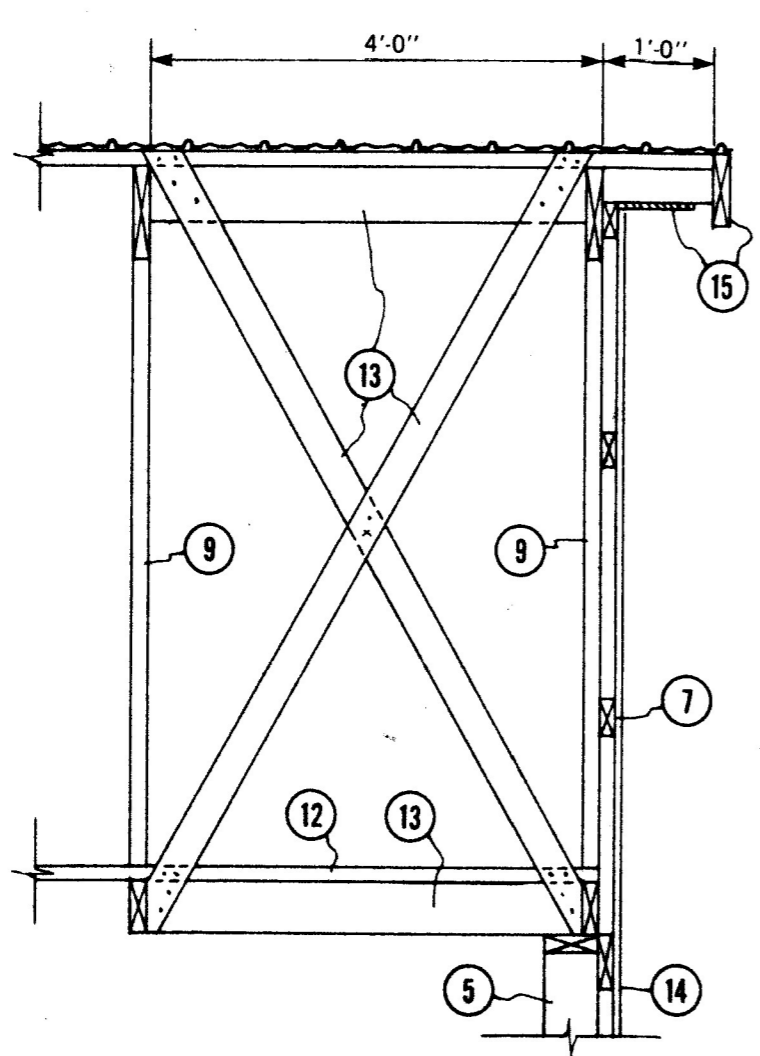
CANADA
PLAN SERVICE 7436

**3600 mm HIGH
FOUNDATION**

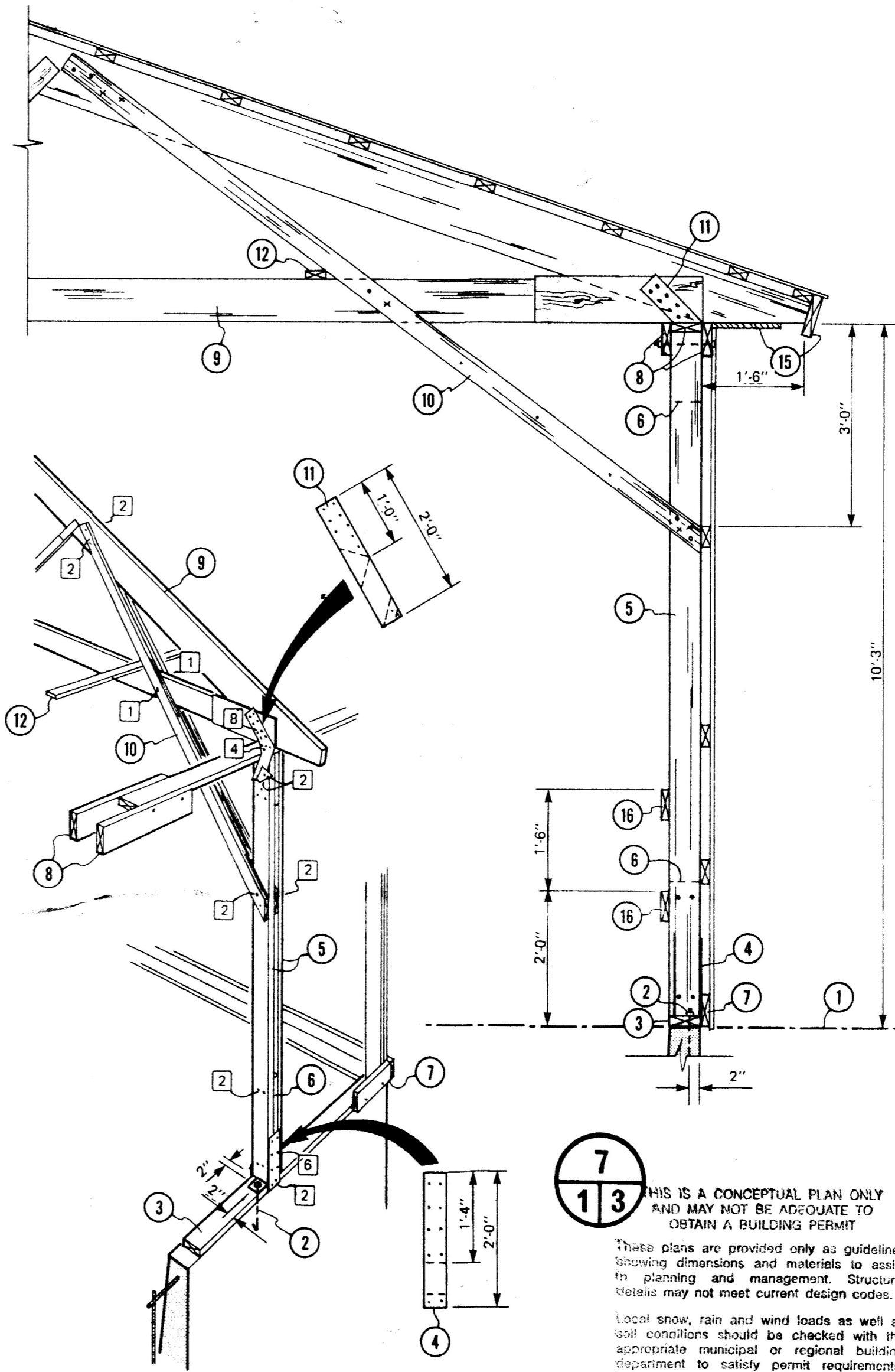
DESIGNED	DATE 88 - 01	PLAN
DRAWN D. BROWN	REVISED	372-34
TRACED	DETAIL NUMBER	SHEET 2b of 3
CHECKED	ORIGINATES ON SHEET	
	DRAWN ON SHEET	



6
1 3



8
1 3



7
1 3

THIS IS A CONCEPTUAL PLAN ONLY AND MAY NOT BE ADEQUATE TO OBTAIN A BUILDING PERMIT

These plans are provided only as guidelines showing dimensions and materials to assist in planning and management. Structural details may not meet current design codes.

Local snow, rain and wind loads as well as soil conditions should be checked with the appropriate municipal or regional building department to satisfy permit requirements. Professional engineering design and inspections may be necessary.

The B.C. Ministry of Agriculture, Fisheries and Food accepts no responsibility or liability for the use of these plans.

RESOURCE MANAGEMENT BRANCH
B.C. Ministry of Agriculture, Fisheries and Food

- 1 datum line, top of concrete wall
- 2 5/8" anchor bolt & 3/16" x 4" x 4" square washer @ studs, all 3 walls; bolt center 2" from outer edge of sill (3) and 2" from edge of stud
- 3 2 x 6 sill, CCA-pressure-treated; stud anchor straps (4) hammer-bent tight around underside before bolting sill to wall
- 4 20 ga. galv. steel stud anchor strap; 1 1/2" concrete nails to inside edge of sill (3) and outside edge of studs and sill
- 5 2 x 6 x 10'-0" studs @ 4'-0" oc max. or same spacing as trusses; double studs at knee-braced side wall, single studs elsewhere; safe to 1/10 hourly wind pressure of 0.5 kPa, max. roof snow load of 2.4 kPa, max. roof span of 20 m
- 6 2 x 6 spacer block
- 7 bottom wall girt 2 x 6, CCA-pressure-treated; others 2 x 4 @ 2'-0" oc
- 8 2 x 6 girts nailed to 2 x 6 top plate; 3/8" bolt under each truss thru stud and girts
- 9 truss @ 4'-0" oc max., or to suit snow + dead roof load
- 10 2 - 2 x 4 knee brace & filler piece between, @ 4'-0" oc (or same as truss spacing) ON ONE SIDE OF BUILDING ONLY; 4" spiral nails to studs, truss, and filler piece; no. of nails indicated thus (4) at each connection
- 11 20 ga. x 4" x 2'-0" galv. steel strap, wraps around bottom edge of girt (8); use 2 straps at knee-braced end of truss, 1 at other end
- 12 2 x 4 truss stiffeners not over 8'-0" oc
- 13 2 x 4 cross-bracing & 2 x 6 blocking between first pair of trusses at both ends of building
- 14 wall girts & siding, end at top plates on open-end wall
- 15 2 x 8 face board, blocking to truss, 1/2" plywood soffit
- 16 2 x 6 guard rails continuous
- 17 2 x 4 roof purlins not over 2'-0" oc; space to suit roofing profile and gage

PRELIMINARY ONLY

SYM	REVISIONS	CHECKED	DATE	APPROVED
				STUD WALL AND ROOF DETAILS (not to scale)
DESIGNED	LET.	DATE	86-06	PLAN
DRAWN	D. BROWN	REVISED		372-3
TRACED		DETAIL NUMBER	A	
CHECKED	H.A.J.	ORIGINATES ON SHEET	B	
		DRAWN ON SHEET	C	SHEET 3 OF

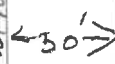
Lot 1

Lot 2

(CONSOLIDATED
LOTS 3/4)



Proposed New Building



OLD Bunker Silo

Manure Storage

sawdust Barn

Cow Barn

Milking Barn

House

38201

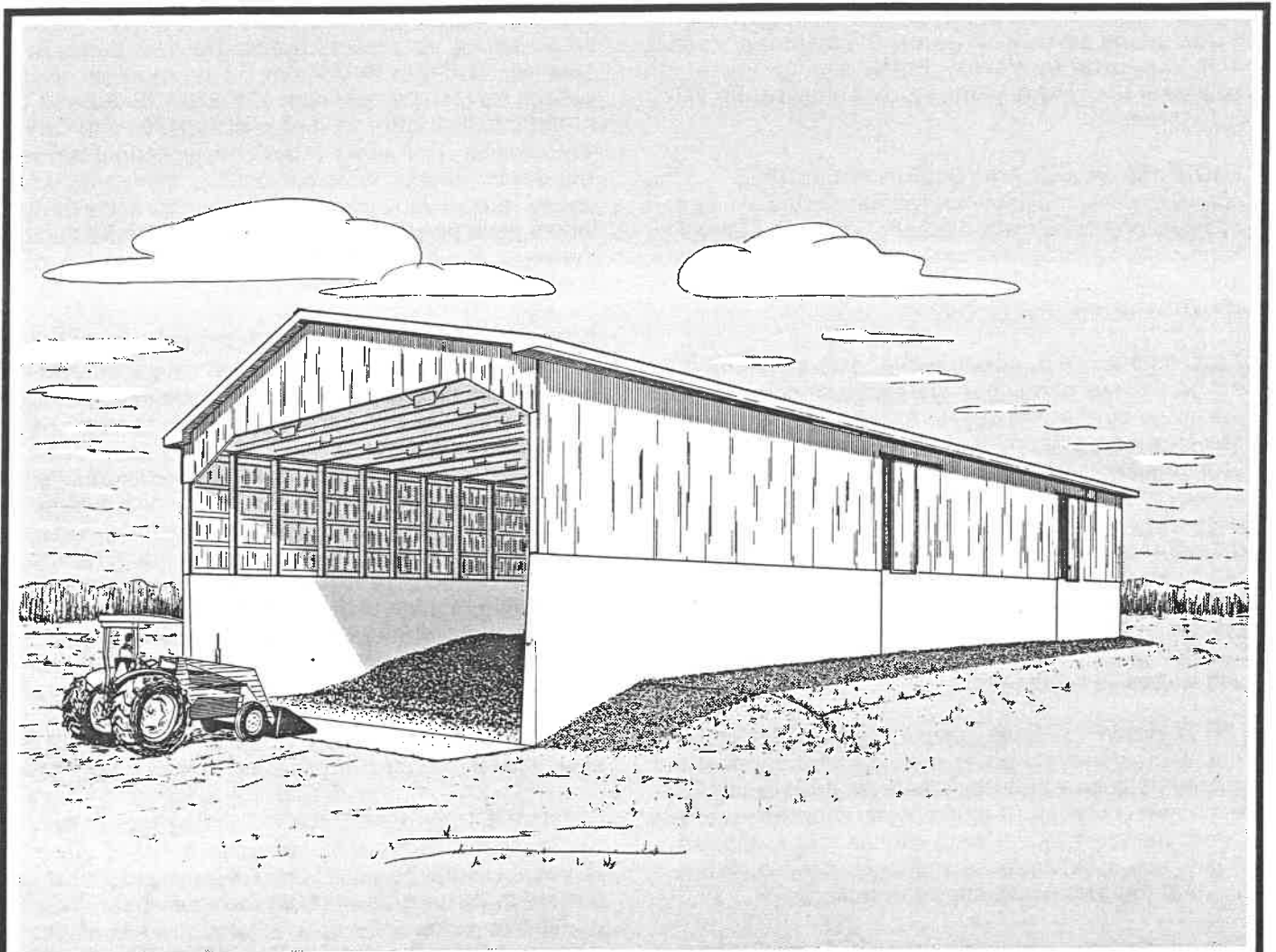
Jones RD



Site Plan

B/P 3643

COVERED TIMBER/CONCRETE WALL BUNKER SILO



PLAN M-7436 REV. 87:11

This plan gives structural details for building a cast-in-place concrete horizontal silo with a wood stud-frame superstructure and a clear-span trussed roof. You may adjust silo length and width within the limitations of

available roof trusses designed for the expected roof snow load in your area. An optional concrete divider wall can be added in case two silages are to be harvested and fed out at different times. As another option, you can build the concrete walls and floor without the wood frame walls and roof.

DEVELOPED BY CANADA PLAN SERVICE

Agricultural Engineering Plan Service

B.C. MINISTRY OF AGRICULTURE AND FISHERIES

BIP 3643

The concrete base walls are 3 m (10 ft) high and the stud-frame walls above add another 3 m, so a low-profile tractor can spread and pack the silage.

Calculate storage capacity on a settled dry-matter density of 220 kg/m³ (14 lb/cu ft) if tractor-packed, or 160 kg/m³ (10 lb/cu ft) if unpacked. Based on typical whole-plant silage at 67% moisture content, wet densities of silage will be about three times the dry densities given.

The silo may be filled by forage blower, or by dumping silage on the paved front apron and bulldozing it back with the packing tractor. Small sliding doors are spaced at 12 m (40 ft) along one or both walls for filling by blower.

FOOTINGS, WALLS AND DESIGN PRESSURES The concrete walls and footings will handle the silage and compaction pressures to be published in the Canadian Farm Building Code. Wall pressures are based on a maximum tractor one-wheel load of 1600 kg (3500 lb) or a total four-wheel load of 4600 kg (10 000 lb).

Footings and walls work together as a structural unit; that is, the 'toe' of the footing extends far enough under the silage so that the silage mass bearing down on it prevents the wall from tipping out. This is a simple and economical design using traditional engineering principles developed for retaining walls. Overturning forces from silage acting on the walls place the highest vertical pressures on soil under the 'heel' (the outside edge of the footings). Walls and footings are proportioned to give a maximum soil-bearing pressure of 106 kPa (2200 lb/ft²). Do not build this structure on soils with a history of foundation problems such as poor drainage or uneven and excessive settlement.

FROST HEAVE Frost poses another potential problem. It can penetrate under the exposed floor after the silage has been removed. Wherever there is soil containing silt or clay and a groundwater supply, frost heave can lift the footings and walls with an irresistible force! This silo design includes several ideas to minimize (if not prevent) the destructive effects of frost heave.

First, the footings and floors are all laid on a flat bed of compacted gravel. Gravel improves drainage and also provides some additional non-heaving cover over the frost-sensitive subsoil below. Floors and footings are placed as unconnected slabs so that floor movements will show up as straight-line cracks along the footing edge, not as random cracks. Wall-and-footing units are divided into sections 12 m (40 ft) long, again so that wall cracks will show at predictable vertical lines, each at the edge of the filling doorways in the superstructure.

On soils with a reputation for severe frost heave, extruded polystyrene insulation board can be laid flat under the footings. This extra insulation reduces the loss of heat from the soil into the unheated silo space above, thus reducing the depth of frost penetration. To be effective, the insulation board must be wider than the footing. A perimeter tile drain under the gravel bed also helps by

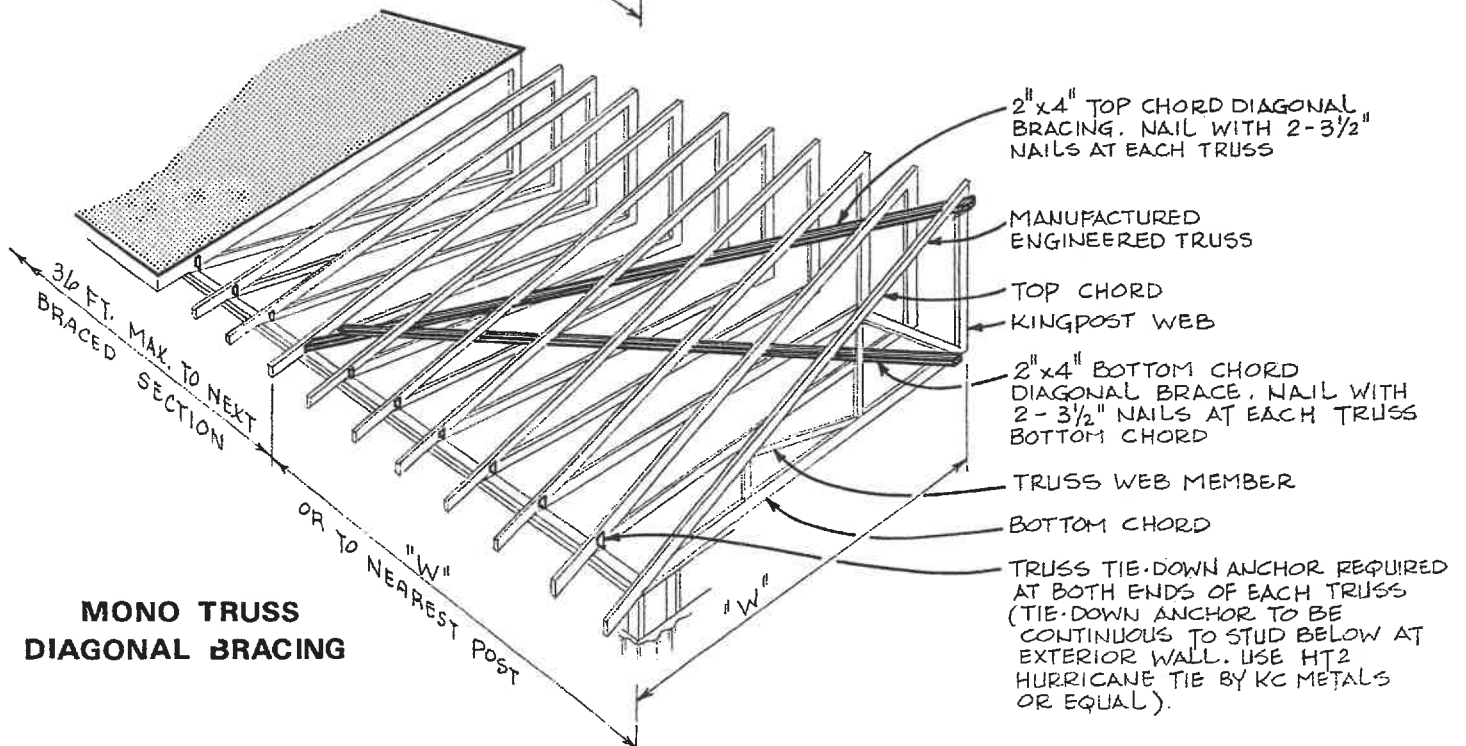
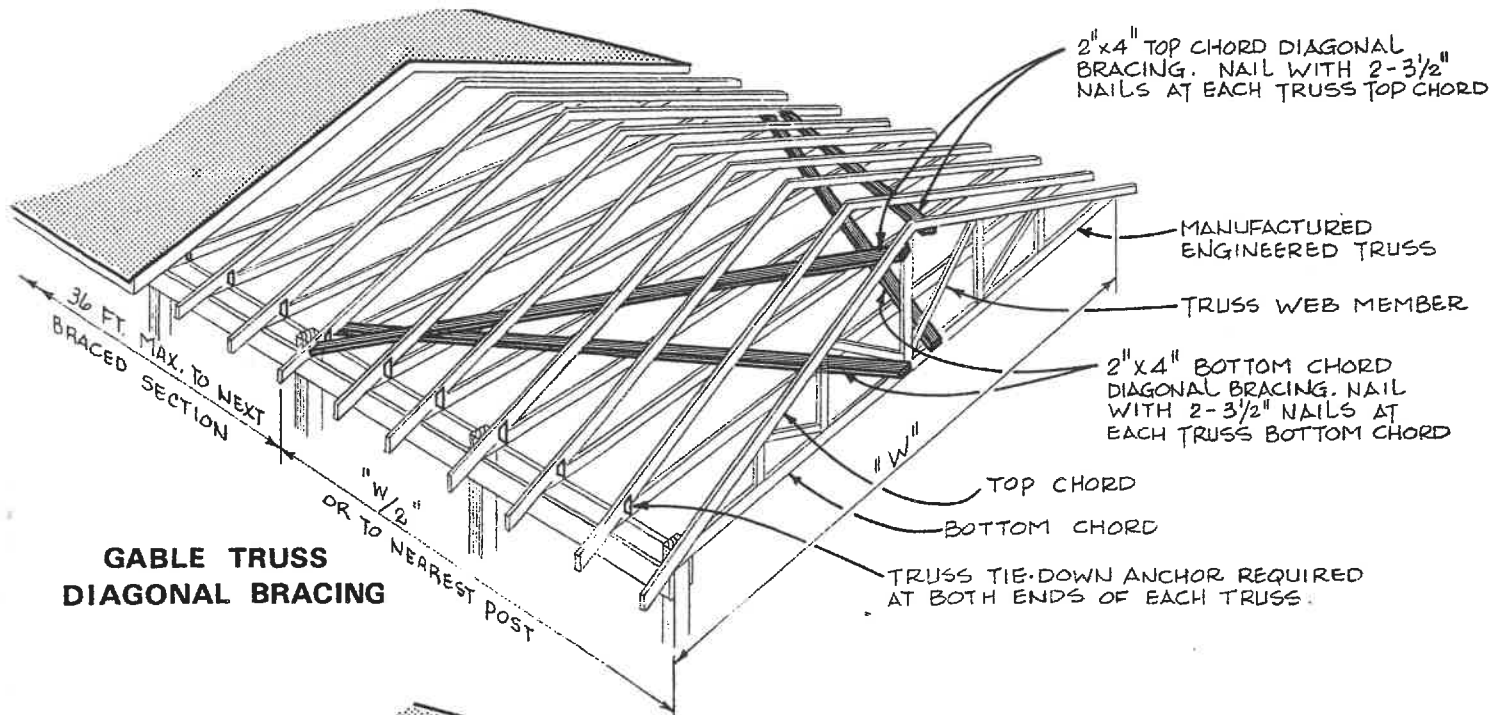
removing some excess water before it can penetrate under the floor. As well, a raised, outward-sloping backfill of soil around the three closed walls improves surface drainage away from the footings, and adds insulation to reduce the depth of frost penetration each winter.

CONCRETE FOOTINGS AND WALLS The footings are reinforced with steel rebars to resist bending where the walls connect from above. Steel L-hooks are prebent and wired in place within the footing forms so that they extend up into the wall forms after the concrete is placed. Vertical and horizontal wall rebars are then wired in place while setting up the wall forms. The wall thickness is tapered, starting with 300 mm (12 in.) form ties for the bottom row and decreasing to 275, 250, 225, 200 and 175 mm (11, 10, 9, 8 and 7 in.) ties with each 600 mm (24 in.) vertical rise. This gives a uniform taper that saves a significant volume of concrete (20% of the wall), yet results in extra bending and shear strength at the bottom where most needed. Some builders may prefer to build the walls a uniform 300 mm (12 in.) thick, using more concrete but simplifying the formwork.

WOOD-FRAMED STUD WALLS AND ROOF This covered silo is a very tall structure. With one end open to the weather, it is particularly vulnerable to uplift or overturning by wind. Several innovative anchoring details provide exceptional wind resistance. The design is based on a 1/10 hourly wind force up to 0.5 kPa, which is safe for most parts of Canada where covered silos would be used. Anchor bolts, galvanized steel strapping and concrete nails are used in a variety of easy ways, to secure the studs to the sill, to tie the trusses to the top wall plate, etc. Doubled studs and doubled knee-bracing are used at each truss (at one long wall only); this is done so that any wall movements due to frost heave or silage pressures will not transmit damaging stresses into the wood superstructure. Do not stack silage above the concrete wall. Neither the concrete nor the wood parts of the walls are designed for the extra forces resulting from such overfill.

DRAINAGE FOR SILAGE JUICE As every site condition is a little different, the floor is shown flat. However, it is probably better to slope the floor, walls and roof structure at 1 to 2% towards one front corner. At this point, add a collection sump and a drain leading to a nearby liquid manure storage. To prevent pollution, do not connect this effluent drain to any ditch or field drainage tile, including the clean groundwater drainage system mentioned above under "Frost Heave".

ROOF TRUSS DIAGONAL BRACING



305 - 34

B. C. 305.300-7

ROOF TRUSS DIAGONAL BRACING

This bracing is used to connect the gable ends of the building securely to the main structure and distribute loads onto the supporting side walls.

See the truss manufacturer's structural drawing for the required longitudinal bracing. This varies considerably with the truss loads, design of the web members and truss spans. See also leaflet 9102 "Truss Erection and Bracing" and "Worker's Compensation Board" erection drawing provided by truss manufacturer.

All longitudinal bracing details for the webs and bottom chord to be provided by the truss manufacturer.

All web members which require longitudinal bracing (as shown on truss manufacturer's drawings) must be diagonally braced over a 12 Ft. section with a maximum of 36 Ft. between braced sections.

Roof truss diagonal bracing should be installed at approximately 45° off the center line of the building.

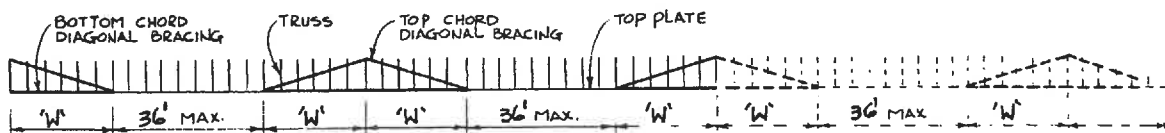
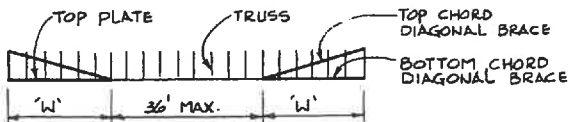
e.g. For a 48 Ft. gable truss, diagonal bracing should span 6 truss bays for trusses at 4'-0" o.c.

For a 28 Ft. monotruss, diagonal bracing should span 7 truss bays for trusses at 4'-0" o.c.

NOTE:

For clarity, not all web members are shown in the perspective diagrams on the front of this leaflet.

ADDITIONAL TOP AND BOTTOM CHORD BRACING REQ'D.
FOR LONG BUILDINGS AS SHOWN





Septic Records

RECEIVED

DEC 19 2023



FRASER HEALTH

Request for Sewerage System Information – Application Form Health Protection

APPLICANT INFORMATION		
APPLICANT NAME Gord Houweling PREC*, Amanda Leclair BC Farm & Ranch Realty Corp.	TELEPHONE NUMBER (604) 793-8660 (G)	
E-MAIL ADDRESS gordhouweling@gmail.com, amandaleclair@live.ca	CELL PHONE NUMBER (604) 833-1594 (A)	
MAILING ADDRESS 2014 Whatcom Road STREET	Abbotsford CITY	V3G 1Y9 POSTAL CODE

PROPERTY INFORMATION		
PROPERTY ADDRESS 38201 JONES ROAD STREET	MISSION CITY	VOM 1H0 POSTAL CODE
LEGAL DESCRIPTION PARCEL A, PLAN LMP22058, SECTION 28, TOWNSHIP 20, NEW WESTMINSTER LAND DISTRICT		
Application Processing Fee	\$50.00 – Fee will not be applied if no information is found on file. Applicants will be notified by phone or email.	
Release of Information	Once payment has been received the information can be sent by mail, email or pick-up at one of the offices listed below.	
Submission/Payment Options		
1. In person or by mail – Health Protection Office addresses listed below. Offices can only receive payment in the form of cash or cheque (payable to Fraser Health Authority).		
2. Email – send completed form to HPland@Fraserhealth.ca . Applicants will be contacted by phone for credit card payment information.		
Information Not Guaranteed		
Fraser Health cannot guarantee that a file will be located or that it will include an accurate diagram of the septic system. Third party personal information may be severed to protect privacy.		
Abbotsford Health Protection #400 - 2777 Gladwin Road Abbotsford, BC V2T 4V1	Langley Health Protection Langley Memorial Hospital 22051 Fraser Highway Langley, BC V3A 4H4	Maple Ridge Health Protection 4 th Floor – 22470 Dewdney Trunk Road Maple Ridge, BC V2X 5Z6

OFFICE USE ONLY: FINDINGS ON PROPERTY SEARCHED	
<input type="checkbox"/> No Record of a Valid Permit or Sewerage System Filing <input type="checkbox"/> Record of Sewerage System Filing <input type="checkbox"/> Letter of Certification <input type="checkbox"/> Maintenance Plan <input type="checkbox"/> Outstanding <i>Public Health Act</i> order	<input checked="" type="checkbox"/> Permit to Construct, Install, Alter or Repair a Sewage Disposal System <input type="checkbox"/> Authorization to Operate a Sewage Disposal System <input checked="" type="checkbox"/> Final Inspection Certificate <input type="checkbox"/> Record Drawing <input checked="" type="checkbox"/> Other
DATE PROCESSED December 20, 2023	INITIAL
PROCESSING FEE PAID <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	RECEIPT NUMBER 687022

DISCLAIMER

This information is believed to be accurate, but its accuracy is not guaranteed, and in supplying this information, no responsibility whatsoever is assumed or accepted. Note that there may also be additional information on file outside the scope of the request that was not provided.

SUBMIT

CENTRAL FRASER VALLEY HEALTH UNIT
FINAL INSPECTION Certificate

For SEWAGE DISPOSAL SYSTEM located at:

Lot 4, Plan 1723

38201 Jones Rd.

Applicant

[Redacted]

CONTRACTOR

Wayne Keder

PERMIT Number

Approved Rejected

Septic tank

Distribution Box

Lift pump

Trenches and gravel

Fill

Field laterals

Distances

Surface drainage

Other

Comments

This installation is APPROVED

This installation is REJECTED

Backfill authorized

Backfill NOT authorized

Date

June 3 19 87

[Signature]
For Medical Health Officer

Approval does not imply or guarantee that the above system will function.
 Any failures must be repaired by the owner.

WHITE - FILE COPY
 YELLOW - BUILDING INSPECTORS COPY
 PINK - CERTIFICATE TO BE POSTED ON ABOVE PREMISES



APPLICATION FOR A PERMIT TO CONSTRUCT A SEWAGE DISPOSAL SYSTEM

THE APPLICANT LISTED BELOW HEREBY MAKES APPLICATION FOR A PERMIT TO CONSTRUCT A SEWAGE DISPOSAL SYSTEM PURSUANT TO THE REQUIREMENTS OF THE SEWAGE DISPOSAL REGULATIONS AND AS DESCRIBED IN THE PLAN AND SPECIFICATIONS CONTAINED HEREIN AND/OR ATTACHED HERETO.

PLEASE PRINT OR TYPE

APPLICANT'S FULL NAME <i>Kew Cont. Ltd</i>		OWNER'S NAME [REDACTED]	
LEGAL DESCRIPTION AND STREET ADDRESS <i>lot 4 Pl 17 23 & 28 Twp</i>		OWNER'S ADDRESS <i>38201 Jones Rd</i>	
POSTAL CODE <i>B2H 0Z0</i>	APPLICANT'S PHONE <i>826 9121</i>	POSTAL CODE <i>V0M 1H0</i>	OWNER'S PHONE [REDACTED]
TYPE OF PREMISES SERVED <input type="checkbox"/> SINGLE FAMILY DWELLING <input type="checkbox"/> DUPLEX <input type="checkbox"/> OTHER, SPECIFY: <i>2 bedroom trailer</i>			
ESTIMATED TOTAL DAILY SEWAGE FLOW (REFER TO APPENDIX 1 OF REGULATIONS FOR MINIMUM FLOWS) <i>250</i>		DIMENSIONS OF LOT	LOT AREA <i>10 Acre</i>
DEPTH OF SOIL TO HARDPAN OR BEDROCK HIGHEST WATER TABLE <i>10ft</i>	SEPTIC TANK (NAME, IF PREFABRICATED) <i>H + R</i>	MATERIAL <i>Concrete</i>	LIQUID CAPACITY <i>600 gal</i>
TYPE OF ULTIMATE DISPOSAL (NODAK, LAGOON, SEEPAGE BED, CONVENTIONAL, ETC.) <i>Conventional</i>	TOTAL LENGTH OF DISPOSAL PIPE <i>160</i>	TYPE OF PIPE <i>plastic</i>	INSIDE DIAMETER OF PIPE <i>3"</i>
DISTANCES FROM SOURCES OF DOMESTIC WATER <i>200+</i> FROM OWN <i>500+</i> FROM NEIGHBOUR'S FROM STREAM OR LAKE			
IF A PACKAGE TREATMENT PLANT IS PROPOSED		MAKE AND MODEL	TREATMENT CAPACITY

NOTE: A SITE PLAN MUST BE SUBMITTED WITH THIS APPLICATION (see below) AND PERCOLATION TEST RESULTS MUST ALSO BE PROVIDED. RESULTS SHOULD BE RECORDED ON PLOT PLAN.

THE SEWAGE DISPOSAL SYSTEM DESCRIBED ABOVE MUST BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE SEWAGE DISPOSAL REGULATIONS. THE MEDICAL HEALTH OFFICER OR HIS DELEGATE MUST BE NOTIFIED WHEN THE INSTALLATION IS READY FOR INSPECTION.

April 23 1987
DATE OF APPLICATION

Wayne Kiehl
SIGNATURE OF OWNER OR AGENT

PERMIT TO CONSTRUCT - PURSUANT TO THIS APPLICATION AND THE SEWAGE DISPOSAL REGULATIONS, PERMISSION IS HEREBY GRANTED FOR THE CONSTRUCTION OF A SEWAGE DISPOSAL SYSTEM.

CONDITIONS OF PERMIT

max depth 24"

April 29/87
DATE OF ISSUANCE

W.D. Roberts
MEDICAL HEALTH OFFICER OR DELEGATE

NOTE: CONSTRUCTION MUST NOT COMMENCE UNTIL THIS PERMIT HAS BEEN SIGNED BY THE MEDICAL HEALTH OFFICER OR HIS DELEGATE. THIS SEWAGE DISPOSAL SYSTEM MUST BE INSPECTED BY THE AUTHORITY HAVING JURISDICTION BEFORE BACKFILLING. CHECK WITH YOUR LOCAL AUTHORITIES REGARDING BUILDING AND ZONING BY-LAWS. THIS PERMIT IS NOT TRANSFERABLE AND EXPIRES SIX MONTHS FROM DATE OF ISSUE.

COMMENTS

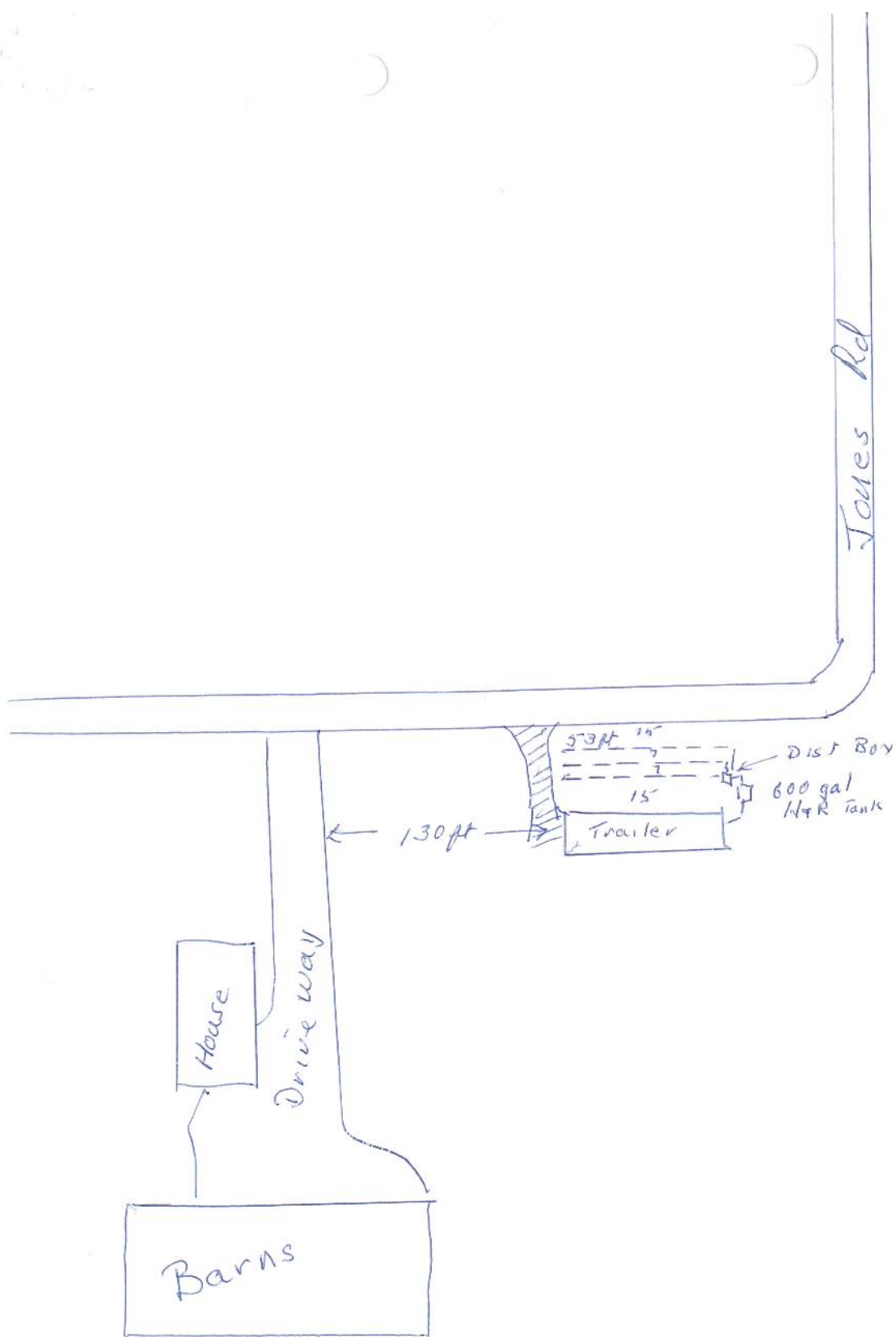
BACKFILLING AND USE AUTHORIZED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	DATE OF FINAL INSPECTION
[REDACTED]	
MEDICAL HEALTH OFFICER OR DELEGATE	

A PLOT PLAN SHOWING LOCATIONS OF BUILDINGS, SEPTIC TANKS, DISPOSAL FIELDS (YOURS AND YOUR NEIGHBOURS), ALL DRINKING WATER SOURCES, WATER LINES, PERCOLATION HOLES AND RESULTS, 4 FOOT TEST HOLES AND SURFACE WATERS MUST BE PROVIDED WITH THIS APPLICATION.



PERC RATES _____

RD0487062





Title Review

TITLE SEARCH PRINT

2024-04-18, 11:12:15

File Reference:

Requestor: Amanda Leclair

Declared Value \$803400

****CURRENT INFORMATION ONLY - NO CANCELLED INFORMATION SHOWN****

Land Title District

NEW WESTMINSTER

Land Title Office

NEW WESTMINSTER

Title Number

CA7912306

From Title Number

CA7610781

CA7873926

Application Received

2019-12-05

Application Entered

2020-01-20

Registered Owner in Fee Simple

Registered Owner/Mailing Address:

LEONARDUS HENDRIKUS MARCUS SPITTERS, FARMER
26965 - 20 AVENUE
ALDERGROVE, BC
V4W 2P2
AS TO AN UNDIVIDED 99/100 INTEREST

Registered Owner/Mailing Address:

LEONARDUS HENDRIKUS MARCUS SPITTERS, FARMER
CORNELIS ADRIANOS ANTONIUS SPITTERS, BUSINESSMAN
26965 - 20 AVENUE
ALDERGROVE, BC
V4W 2P2
AS TO AN UNDIVIDED 1/100 INTEREST AS JOINT TENANTS

Taxation Authority

New Westminster Assessment District

Description of Land

Parcel Identifier:

023-081-198

Legal Description:

PARCEL A SECTION 28 TOWNSHIP 20 NEW WESTMINSTER DISTRICT PLAN LMP22058

Legal Notations

THIS TITLE MAY BE AFFECTED BY A PERMIT UNDER PART 26 OF THE LOCAL GOVERNMENT ACT, SEE BR123660

THIS CERTIFICATE OF TITLE MAY BE AFFECTED BY THE AGRICULTURAL LAND COMMISSION ACT, SEE AGRICULTURAL LAND RESERVE PLAN NO. 18 DEPOSITED 30.JULY.1974

TITLE SEARCH PRINT

2024-04-18, 11:12:15

File Reference:

Requestor: Amanda Leclair

Declared Value \$803400

Charges, Liens and Interests

Nature:	UNDERSURFACE RIGHTS
Registration Number:	AB107306
Remarks:	INTER ALIA SEE 281319E

Nature:	MORTGAGE
Registration Number:	CA7912307
Registration Date and Time:	2019-12-05 14:07
Registered Owner:	THE BANK OF NOVA SCOTIA

Nature:	MORTGAGE
Registration Number:	CA9649448
Registration Date and Time:	2022-01-18 08:40
Registered Owner:	CORNELIS ADRIANOS ANTONIUS SPITTERS AS TO THE 99/100 INTEREST OF LEONARDUS HENDRIKUS MARCUS SPITTERS
Remarks:	MODIFIED BY CB1151607

Nature:	MODIFICATION
Registration Number:	CB1151607
Registration Date and Time:	2024-02-06 14:05
Remarks:	MODIFICATION OF CA9649448

Duplicate Infeasible Title NONE OUTSTANDING

Transfers NONE

Pending Applications NONE



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General Explanation of a Notice of Permit

A Notice of Permit is a non-financial charge, meaning there is no money owing by the owner of the land to the charge holder. Also, this charge “runs with the land”, which means the charge will remain on title following registration of any transfer. On occasion, a permit will have an expiry date, but for the vast majority, they will remain as a note on title well beyond their period of relevance.

These charges are filed by the relevant issuing authority (Municipality or City), upon the issuance of a development or development variance permit, prior to construction. The charge registered against title does not include any information with respect to the permit.

To obtain specifics about the permit or permit application, one would have to make inquiries of the planning department of the relevant issuing authority (typically at Municipal or City Hall).

With 25 years experience, 18 locations in British Columbia and a relentless focus on customer service, Spagnuolo and Co. is trusted by more clients for assistance with their purchase, sale or refinance of real estate than any other firm in British Columbia. If you decide to go ahead with your transaction, please give us a call.

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310-HOME (4663)

realestate@spagslaw.ca

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Spagnuolo & Company Real Estate Lawyers



Explanation of Notation re: Agricultural Land

This is a notation re: Agricultural Land Reserve. This is a non-financial charge, meaning there is no money owing by the owner of the land to the charge holder. Also, this charge “runs with the land”, which means the charge will remain on title following registration of any transfer.

The notice indicates that the Lands may be affected by the *Agricultural Land Commission Act*. If a potential buyer is concerned that the lands may be part of the ALR, they can visit the Agricultural Land Commission website <http://www.alc.gov.bc.ca/alc/content/home> and click on the tab “See if your property is in the ALR”. It will take you to a map which will confirm if the parcel is part of the ALR when you enter the address.

The ALR is a provincial land-use zone in which agriculture is recognized as the priority use. It is the biophysical resource base that supports farm and ranch activities in the province. Farming/ranching of ALR land is encouraged and non-agricultural uses are regulated. If you wish to subdivide, use your land for non-farm purposes or exclude it altogether from the ALR, you must submit an application to the Agricultural Land Commission (ALC) and obtain its approval.

Anyone purchasing or owning land in the ALR for non-agricultural purposes or strictly rural residential use, should be aware that the business of agriculture is the primary land use and normal farm/ranch practices are protected. For example, that means the noise, dust and odours that may arise from agricultural businesses are to be expected. The *Farm Practices Protection (Right to Farm) Act* enables the pursuit and continuation of normal farm/ranch practices, despite complaints from neighbours.

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SEARCH RESULT
Manufactured Home Act

as of December 01, 2023 at 13:46:45

M.H. Reg: 002010

Current Status: REGISTERED

Attn/Ref #:

Searching Party: CORPUS CAPITAL CORPORATION

Registered Owner(s)

Name: SPITTERS, LEONARDIS HERDRIKUS
MARCUS

Address: BOX 99
DEWDNEY, BC
V0M 1H0

Tenancy type: SOLE OWNER

Registered Location

Lot: 4

Section: 28

Land Dist: NWD

Plan: 1723

Street No: 38388 **Street Name:** JONES ROAD

Town/City: DEWDNEY **Prov:** BC

Description of Manufactured Home

Manufacturer: BOISE CASCADE MOBILE HOMES

Make/Model: PARAMOUNT 60X12 2CK

Year: 1973

No. of Sections: 1

Serial No: GBSCFYMP60X122866

Length: 56 ' 3 "

Width: 12 '

CSA Number:

CSA Standard:

Date of Eng. Report:

Eng. Name:



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Explanation of Reference Plan Registration Number LMP22058

This is a Reference Plan of those lands described in the plan heading.

A Reference Plan typically accompanies another charge and identifies the area to which that other charge applies. Examples might include to show “covenant areas” which are subject to certain restrictions on use; or areas subject to claims of “undersurface rights” under which the Crown or other person may have rights to resources. Alternatively, an explanatory plan may be used to show the consolidation of parcels of lands to create another legal parcel.

It will be necessary to refer to the registered charge, if any, or the title search to determine what the plan identifies.

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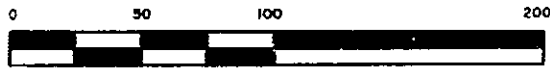
realestate@spagslaw.ca

REFERENCE PLAN OF LOT 3 EXCEPT: NORTH 14.385 CHAINS AND LOT 4 EXCEPT: FIRSTLY: NORTH 14.385 CHAINS, SECONDLY: SOUTH EASTERLY 50 LINKS BY 5.205 CHAINS HAVING A FRONTAGE OF 50 LINKS ON AN UNNAMED ROAD BY A UNIFORM DEPTH OF 5.205 CHAINS; BOTH OF SEC. 28 TP. 20 N.W.D. PLAN 1723

12-DA-775

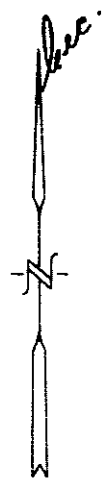
PLAN LMP 22058

UNORGANIZED TERRITORY B.C.G.S. 926.020
Pursuant To Section 100(1)(b) L.T.A.
Scale 1: 2500



This plan lies within the Dewdney Alouette Regional District

NOTE:
IP's Set For Plan 30187
Have Been Destroyed By
Drainage Ditch Dug Along
East & South Boundaries
Of Lot 2, Plan 4003



2
Plan 4003

C
Ref. Plan 5322

5
Plan 30187

C
Plan 2912

3
Plan 10098

A
Plan 2912

SW 1/4
SEC. 28

REM 13

REM 12

REM 11

Plan 1723

LEGEND
Placed Found
○ ● Standard Iron Post
u Denotes Unregistered

Bearings are astronomic and are derived from Plan 30187

Wade and Associates
B.C. Land Surveying Ltd.
Mission and Maple Ridge
File M 2931 826-9561

HER MAJESTY THE QUEEN IN RIGHT OF THE PROVINCE OF BRITISH COLUMBIA as represented by the Ministry of Agriculture, Fisheries & Food:

Richard Manifold
AUTHORIZED SIGNATORY
RICHARD C. MANIFOLD

David Lister
WITNESS
DAVID LISTER
Commercial Loans Officer
Loan Administration Branch
Parliament Buildings
Victoria, B.C. V8V 1X4
OCCUPATION Commercial Loans Officer

OWNER: ORANYA FARMS LTD.
Leon Spitters
AUTHORIZED SIGNATORY LEON SPITTERS
Leon Spitters Jr.
AUTHORIZED SIGNATORY LEON SPITTERS JR.
John Koot
Witness as to both Signatories
3382 S. FRASER WAY
ABBOTSFORD, B.C.
V2S 2C5
Address of Witness
Solicitor
Occupation of Witness

OWNER:
Leon Spitters
LEONARDUS JOHANNAS ANTONIUS SPITTERS
John Koot
Witness
3382 S. FRASER WAY
ABBOTSFORD, BC
V2S 2C5
Address of Witness
Solicitor
Occupation of Witness

MORTGAGEE: FARM CREDIT CORPORATION
Pat Durose
AUTHORIZED SIGNATORY Pat Durose
FARM CREDIT CORPORATION
AUTHORIZED SIGNATORY
Pat Durose
Witness as to both Signatories
#200-595 K.L.O. Rd.
Address of Witness
Secretary
Occupation of Witness

MORTGAGEE: THE BANK OF NOVA SCOTIA
BY ITS DULY APPOINTED ATTORNEY
Thomas Joseph Malone
AUTHORIZED SIGNATORY THOMAS JOSEPH MALONE
MANAGER, LOAN ADMINISTRATION
FARM CREDIT CORPORATION
AUTHORIZED SIGNATORY
Kimberly Annata
Witness as to both Signatories
650 W. GEORGIA ST. VANCOUVER, B.C. V6B 4W7
Address of Witness
Secretary
Occupation of Witness

I, Bruce Farquharson, a British Columbia Land Surveyor of Mission in British Columbia, certify that I was present at and personally supervised the survey represented by this plan and that the survey and plan are correct. The survey was completed on the 3rd day of January 1995

Bruce Farquharson
Bruce Farquharson, B.C.L.S.



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Explanation of Undersurface Rights (from Deed of Land by the Director of Soldier Settlement) Registration Number AB107306 & 281319E

This charge is a Reservation of Undersurface Rights from a deed of land issued by the Director, The Veterans Land Act. Such deeds were established to assist returned servicemen to set up farms. These deeds except (or reserve), to the benefit of the Crown, certain rights with respect to the lands. On occasion, these rights are separately registered on title as “Undersurface Rights”.

This is a non-financial charge, meaning there is no money owing by the owner of the land to the charge holder. Also, this charge “runs with the land”, so it will remain on title following the sale to a new purchaser/buyer. This means that the obligations under this charge will be binding on all future owners.

AB107306 is a “dummy application” which alerts the reader to undersurface rights reserved in the deed, registered separately under 281319E. That deed reserves the Director, on behalf of the Crown, rights to all mines and minerals, including gas and petroleum. If the current landowner were to discover such minerals/gas, the Crown would have the right to recover them.

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AB107306 (a)



LAND TITLE OFFICE
NEW WESTMINSTER

Section 172(3)

FILM
LAND TITLE ACT
SECTIONS: 150



SEE W62287E



① FILM.



Title No. W62287E
From Title No. 539181E

SEC. 188

LAND TITLE ACT
Form 21, Section 173(11)

CERTIFICATE OF INDEFEASIBLE TITLE

Land Title Office, New Westminster, British Columbia

The aforementioned owner in fee simple is lawfully entitled to an estate in fee simple, subject to such charges, liens, and interests as are notified by endorsement on this certificate and subject to the conditions, exceptions, and reservations set out on the back hereof, to the land in British Columbia described below.

Registered owner in fee simple: (Application for registration received on July 16th, 1964.)

LEONARDUS JOHANNAS APOSTOLIUS SPITERS AND
ADRIANA JOHANNA SPITERS
JOINT TENANTS

ALR 19

Description of land:

NEW WESTMINSTER ASSESSMENT DISTRICT
LOTS 1, 2, 3, 4, AND 12 OF THE EAST 1/2 OF SECTION 28
TOWNSHIP 20 PLANS 1723 EXCEPT
1stly - THE NORTH 14.38'S CHAINS OF LOTS 1, 2, 3, AND 4
2ndly - THE SOUTHEASTERN 50 LINKS BY 5.20'S CHAINS OF LOT 4
HAVING A FRONTAGE OF 50 LINKS ON AN UNIMPROVED ROAD
BY A UNIFORM DEPTH OF 5.20'S CHAINS AND
3rdly - PARCEL "B" (REFERENCE PLAN 6986) OF LOT 12
CHARGES, LIENS, AND INTERESTS: NOTED.

SENOs Number of Charge, Number, Date and Time of Application	Registered Owner of Charge	Remarks
<u>U</u>		<u>SEE 281319E</u> <u>INTER ALIA</u>
<u>M L 35743</u> <u>12.5.75</u> <u>11:44</u>	<u>FARM CREDIT</u> <u>CORPORATION</u>	<u>INTER ALIA</u>
<u>M P 66665</u> <u>27.6.78</u> <u>12:40</u>	<u>THE BANK OF NOVA</u> <u>SCOTIA</u>	<u>INTER ALIA</u>
<u>SE. S 71099</u> <u>25.7.80</u> <u>13:37</u>	<u>HER MAJESTY THE QUEEN</u> <u>IN RIGHT OF THE PROVINCE</u> <u>OF BRITISH COLUMBIA</u>	<u>AGRICULTURAL LAND</u> <u>DEVELOPMENT ACT</u> <u>SEC. 2 (4) INTER ALIA</u>
<u>M L 49897</u> <u>7.4.83</u> <u>12:15</u>	<u>THE BANK OF NOVA</u> <u>SCOTIA</u>	<u>INTER ALIA</u>

Signed and sealed by me, this day of 19.....

Registrar

DUPLICATE CERTIFICATE OF TITLE

Date Issued	Name and Address of Person to Whom Delivered	Being Reference of Register for Duplicate Certificate of Title	Date of Cancellation of Duplicate Certificate of Title
Title Cancelled and Interest Expired as follows		Date	Signature of Registrar

This Indenture made in duplicate the Sixteenth day of March

in the year of our Lord one thousand nine hundred and fifty-one.

281319

IN PURSUANCE OF THE "SHORT FORM OF DEEDS ACT"

W.B.

BETWEEN: THE DIRECTOR OF SOLDIER SETTLEMENT
(hereinafter called the Grantor)

AND EDWARD CRICHTON BOYES,
of 304 Third Avenue, Fort Alberni,

in the Province of British Columbia, Farmer,

(hereinafter called the Grantee).

WITNESSETH that in consideration of Three Thousand Five Hundred - - - - -
- - - - - (\$3500.00) - - - - - 00/100

Dollars of the lawful money of Canada, now paid by the said Grantee to the said Grantor, the receipt whereof is hereby by him acknowledged, he the said Grantor DOETH GRANT unto the said Grantee, his heirs and assigns, forever, ALL AND SINGULAR that certain parcel or tract of land and premises, situate, lying and being in the Province of British Columbia, and being more particularly known and described as:

Firstly: Lots One (1) Two (2) Three (3) Four (4) Twelve (12) and Thirteen (13), of the East half of Section twenty-eight (28) Township twenty (20), according to a plan deposited in the Land Registry Office at the City of New Westminster in said Province and numbered One thousand Seven hundred and Twenty-three (1723), SAVE AND EXCEPT the North 14 chains and 38.5 links of said Lots 1, 2, 3 and 4, and the South Easterly 50 links by 5 chains and 20.5 links of said Lot 4, being that part of Lot 4 having a frontage of 50 links on an unnamed Road to a depth of 5.205 chains, and SAVE AND EXCEPT Part (5.85 acres more or less) of Lots 12 and 13 as shown outlined Red on Sketch 6986, New Westminster District.

Secondly: Lot "A" of Lots Five (5) Six (6) Seven (7) and Eight (8) of the East half of Section twenty-eight (28) Township twenty (20), according to a plan deposited in the Land Registry Office at the City of New Westminster in said Province and numbered Two thousand Nine hundred and Twelve (2912), New Westminster District.

Both the above parcels of land are subject to dyking charge and registered charge No. 418810, Dyking Charge Trust Deed to Yorkshire and Canadian Trust Company Limited, dated 31st August 1918.

SUBJECT NEVERTHELESS, to the reservations, limitations, provisos, and conditions expressed in the original grant from the Crown; and subject to all taxes, rates, and local improvement assessments whether already or hereafter assessed;

AND excepting and reserving thereout and therefrom all mines and minerals, which, without restricting the generalities thereof, shall be deemed to include all gas and petroleum.

THE said Grantor Covenants with the said Grantee that he has the right to convey the said lands to the said Grantee, notwithstanding any act of the said Grantor, and that the said Grantee shall have quiet possession of the said lands, free from all encumbrances;

AND the said Grantor Covenants with the said Grantee that he will execute such further assurances of the said lands as may be requisite;

AND the said Grantor Covenants with the said Grantee that he has done no acts to encumber the said lands;

AND the said Grantor releases to the said Grantee all his claims upon the said lands.

WHEREVER the singular and masculine are used throughout this indenture, the same shall be construed as meaning the plural or the feminine or body corporate or politic where the context or the parties hereto so require.

IN WITNESS WHEREOF the Director of Soldier Settlement has executed these presents and caused to be hereunto affixed his corporate seal on the day and year first above written.

SIGNED, SEALED AND DELIVERED
IN THE PRESENCE OF

THE DIRECTOR OF SOLDIER SETTLEMENT

W. Bentham Crichton Boyes
Edwards Ontario

J. Crichton

281319

Deposited 281319 E

Dated 16th March 19 51

THE DIRECTOR
OF SOLDIER SETTLEMENT
OF CANADA

TO

EDWARD CRIGHTON BOYES.

Deed of Land

No. 281319 registered the 30
day of 3 1951 on Certificate
of Title No. 281319^c Folio

ON APPLICATION received the
25 day of 3 1951

At the request of
[Signature]

SS 947 D.C.

LAND REGISTRY ACT
FORM G (SECTION 59)

ACKNOWLEDGMENT OF OFFICER OF CORPORATION

I HEREBY CERTIFY that, on the 17th day of March, 1951 at Ottawa, in the

County of Carleton, in the Province of Ontario, *John Chamuleks*
who is personally known to me, appeared before me and acknowledged to me that he is authorized to perform the duties of the Director of Soldier Settlement, and that he is the person who subscribed his name to the annexed instrument as Director of Soldier Settlement and affixed the seal of the said Director to the said instrument, that he was first duly authorized to subscribe his name as aforesaid, and affix the said seal to the said instrument, and that the Director of Soldier Settlement is a Corporation Sole and as such is legally entitled to hold and dispose of land in the Province of British Columbia.

IN TESTIMONY whereof I have hereunto set my hand and Seal of Office at
OTTAWA, this *seventeenth* day of *March*, in the
year of our Lord one thousand nine hundred and *fifty one*

H. B. Whiffin
A Notary Public in and for the
County of Carleton, Province of Ontario



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